

*Valencia Water
Control District*

Agenda

February 8, 2022

AGENDA

**VALENCIA WATER CONTROL DISTRICT
NOTICE OF MEETING
OF
BOARD OF SUPERVISORS**

Please be advised that the Meeting of the Board of Supervisors of Valencia Water Control District will be held on Tuesday, February 8, 2022 at 1:00 P.M. in the **Lake Ridge Village Clubhouse, 10630 Larissa Street (Directions listed below)**. Attached is an Agenda for the meeting.



George S. Flint, District Director

DIRECTIONS TO MEETING:

From Orlando go West on I-4 to the Beach Line Expressway (528); go east past International Drive to Orangewood Blvd.; Go South on Orangewood Blvd., through 4-way stop at Gateway, turn left on Larissa Street. Proceed to Lake Ridge Village Clubhouse on right.

DISTRIBUTION

Roy Miller; William Ingle; Ed Neal; Debra Donton; Brian Andrelczyk; David E. Mahler; Stephen F. Broome; Green Briar Village Clubhouse; Lake Ridge Village Clubhouse; Lime Tree Village Clubhouse; Montpelier Village Clubhouse; Parkview Pointe Village Clubhouse; Somerset Village Clubhouse; Deer Creek Village Clubhouse; Wingate Club; Lyle Spector, WHOA; and Tom Johnson, Orangewood HOA; Roy Miller, Waterview HOA; and Ken LaFrance, Windsor Walk.

“Persons are advised that if they decide to appeal any decisions made at these meetings/hearings, they will need a record of the proceedings and for such purpose they may need to ensure that a verbatim record of the proceedings is made which includes the testimony and evidence upon which the appeal is to be based, per section 298.0105, Florida Statutes.”

“In accordance with the Americans with Disabilities Act, persons with disabilities needing a special accommodation should contact Valencia Water Control District at (407) 841-5524 x 101, not later than forty-eight hours prior to the meeting.”

AGENDA

February 8, 2022

VALENCIA WATER CONTROL DISTRICT
BOARD OF SUPERVISORS MEETING
1 P.M.

LAKE RIDGE VILLAGE CLUBHOUSE
10630 LARISSA STREET
WILLIAMSBURG, ORLANDO, FLORIDA 32821

Item

1. Call Meeting to Order
2. Public Comment Period
3. Approval of December 14, 2021 Minutes
4. General Fund Financial Reports
5. Engineer's Report
 - A. Consideration of Permit #0520 – Grande Pines Phase 5
6. Attorney's Report
7. Director's Report
 - A. Customer Call Log
 - B. Update on Status of Installation of No Trespassing Signs
8. Other Business
9. Adjournment

SECTION III

**MINUTES OF THE MONTHLY MEETING
OF THE BOARD OF SUPERVISORS
OF VALENCIA WATER CONTROL DISTRICT**

December 14, 2021

The regular meeting of the Board of Supervisors of **VALENCIA WATER CONTROL DISTRICT** was held at 1:00 P.M. on Tuesday, December 14, 2021 at the Lake Ridge Village Clubhouse, 10630 Larissa Street, Orlando, Florida. Physically present were Supervisors Roy Miller, Brian Andrelczyk, Ed Neal, and Debra Donton with William Ingle on the phone. Also in attendance were the following: Stephen F. Broome, District Attorney; George S. Flint, District Director; David Mahler, District Engineer; Dan Brown, Sthern Environmental; Stacie Vanderbilt, District Administrative Assistant; William Bergeron, Waterview Reserve Resident; Donna Finklestein, Greenbriar Resident.

ITEM #1 **Call Meeting to Order**

Mr. Flint called the meeting to order at 1:00 P.M. A quorum of three Board members was present and Mr. Ingle was on the phone.

ITEM #2 **Public Comment Period**

Mr. Flint noted that the members of the public that were present were there regarding the signage requests later in the agenda and that they would open public comment at that time. The next item followed.

ITEM #3 **Approval of September 14, 2021 Minutes**

Mr. Flint stated the next item was the minutes from the September 14, 2021 meeting. He asked if there were any corrections, deletions, or additions.

Mr. Miller advised of a few typos to be fixed.

On MOTION by Mr. Andrelczyk, seconded by Ms. Donton with all in favor, the Minutes from September 14, 2021 Monthly Meeting were approved, as amended.

ITEM #4 **General Fund Financial Reports**

Mr. Flint stated that a small amount of revenues from the tax bills had been received.

The District’s financial reports for the period ending 11/30/2021 were accepted as distributed.

ITEM #5

Engineer’s Report

Mr. Mahler stated that Orange County had reported turbidity in the C-1 Canal that he and Mr. Brown inspected. He stated that they could not determine where it came from but that the canal was drawn down last week. He stated that he couldn’t determine it was related to the Grande Pines construction.

Mr. Neal joined the meeting at this time.

Mr. Mahler also updated the Board on the pending permit that was under review and should be ready by the next meeting.

Mr. Miller asked if the turbidity could have come from the I-4 project.

Mr. Mahler stated that it was hard to determine the exact cause since it happened after a rain event.

Mr. Flint noted that in the past the Grande Pines Developer has been immediate in response if it was from them.

Mr. Mahler stated there was no evidence it came from them.

Item #6

Attorney’s Report

There being none,

Item #7

Director’s Report

A. Call Log

Mr. Flint stated that the canals were lowered to treat the Hydrilla and nuisance vegetation and would remain down for a couple of weeks. He also reviewed the call log as follows:

- Fountain request – resident was told the District does not install fountains in the ponds but had water treated for algae.
- Deer Creek Pond 3 midges – resident was told the District doesn’t treat for midges specifically.
- Deer Creek Pond 4 – treatment was done for weeds/lilies

- C-10 Irrigation Permittee – resident concerned about no use of irrigation while canal was drawn down. Resident was told primary purpose of waterway is for the drainage system to work properly, not provide irrigation for homes.
- Somerset Pond 2 – Pond was treated but resident called back today so aquatic would go back out this week for follow-up treatment.

B. Ratification of Agreement with Sthern Environmental, Inc. for Repair Services at C-12 Canal at John Young Parkway

Mr. Mahler stated that a washout void was occurring near the car wash, and that it was filled in.

On MOTION by Mr. Andrearczyk, seconded by Mr. Miller, with all in favor the agreement was ratified.

C. Consideration of Proposal from Waterview Reserve for C-1 Canal Signage

Mr. Flint introduced Mr. Bill Bergeron to present the proposal.

Mr. Bergeron stated there continues to be issues with security and trespassing into their community to access the pond. Security cameras have been put up to help quell burglaries. People that get confronted by homeowners are claiming they didn't see the 'No Trespassing' signs. He reviewed with the Board his handout that contained photos of the current signage that is out there. Cars are piggybacking residents through the main gate and will access the pond that way. There is also the claim that since the signs say, 'No Fishing', they should be able to fish. He suggested adding language to the signs that say, 'No Trespassing' and 'No Fishing' in both English and Spanish and pictures in the event the person can't read either. The proposal contained suggested locations of the additional signs. He added that burglary was also a concern, as people would enter the community with fishing rods but no bait and would take pictures of the homes. He was requesting to have 5 new signs total installed.

Mr. Flint noted that any reference to 'Private Property' would need to be removed from any District sign as it is a governmental entity. He recommended adding 3 signs at Orangewood Blvd., trim the hedge where one of the current signs is to fix visibility issue, and add picture signs under the other 2 existing signs. He added that he was apprehensive about adding signs behind homes as it sets a precedent and adds maintenance issues for the mowers.

Mr. Bergeron asked if 2 more could be added if the HOA paid for them.

Mr. Andrelczyk suggested moving the sign from behind the hedge to in front of it.

Mr. Miller stated that the Waterview HOA needs to trim and maintain the hedge per the agreement with the District. He stated that 3 signs at the Orangewood opening would eliminate the view issue and agreed to add visual signage on the existing signs. He asked who would own and maintain the signs.

Mr. Flint stated the District would.

Mr. Andrelczyk stated to just use the pictorial signage instead of adding Spanish since none of the other signs in the District have Spanish on them.

Mr. Mahler asked Mr. Bergeron if the community had ‘No Trespassing’ signs at their entrance gates. He added that would help the Sheriff trespass people if that is how they are accessing the community, following residents in.

Mr. Neal suggested adding “Violators will be Prosecuted” to help deter people.

Mr. Flint stated that typically didn’t deter people and that the current language was compliant.

On MOTION by Mr. Miller, seconded by Ms. Donton, with all in favor, to install 3 signs at Orangewood Blvd. opening, modify existing signs with added pictorial representations of ‘No Trespassing and ‘No Fishing’, was approved.

D. Consideration of Proposal from Greenbriar Village for C-10 Canal Signage

Mr. Flint explained to the Board that the community wanted signs approximately 1,100 ft. apart along the C-10 canal. He stated there are currently 3 on either end and recommended adding maybe 3 more in between instead of the requested 7. He stated that the law is to have them 500 ft. apart. He added they could also act the pictorial signage underneath like in Waterview.

Ms. Donton stated that they have trouble with law enforcement acting on the signage.

Mr. Flint stated that the Sheriff’s office is not always consistent due to different deputies responding. He added if there is an issue, to call the Sheriff’s supervisor, call him or Mr. Miller, who would be receiving District business cards.

Mr. Miller stated that on Central Florida Parkway were bushes that people park and hide in, to trespass as well. He suggested adding the pictorial signage on those signs as well.

Ms. Donton stated that the bushes near those signs could be trimmed as well and would bring it up at the next Lakeridge HOA meeting.

Ms. Finklestein stated that she's been told by individuals in the past that the area is owned by Orange County so it's public space.

Ms. Donton added there was only so much they could do as the Board and to call the Sheriff if people are seen trespassing.

Mr. Andreliczyk stated he agreed with Mr. Flint's recommendation to install 3 more signs and add pictorial signage to existing signs at the C-10.

On MOTION by Mr. Andreliczyk, seconded by Mr. Neal, with all in favor, to install 3 additional signs along the C-10 Canal between the existing signs and modify existing signs with added pictorial representations of 'No Trespassing and 'No Fishing', was approved.

**E. Consideration of Non Ad Valorem Assessment Administration Agreement –
Added (*item discussed earlier in the meeting*)**

Mr. Flint stated that this was a standard annual agreement to use the tax roll for the assessments.

On MOTION by Mr. Neal, seconded by Mr. Andreliczyk, with all in favor the Non Ad Valorem Assessment Administration Agreement was approved.

Item #8 Other Business

There being none,

Item #9 Adjournment

On MOTION by Mr. Andreliczyk, seconded by Ms. Donton, with all in favor, the meeting was adjourned at 2:13 p.m.

December 14, 2021

Valencia Water Control District

Stephen F. Broome, Secretary

William Von Ingle

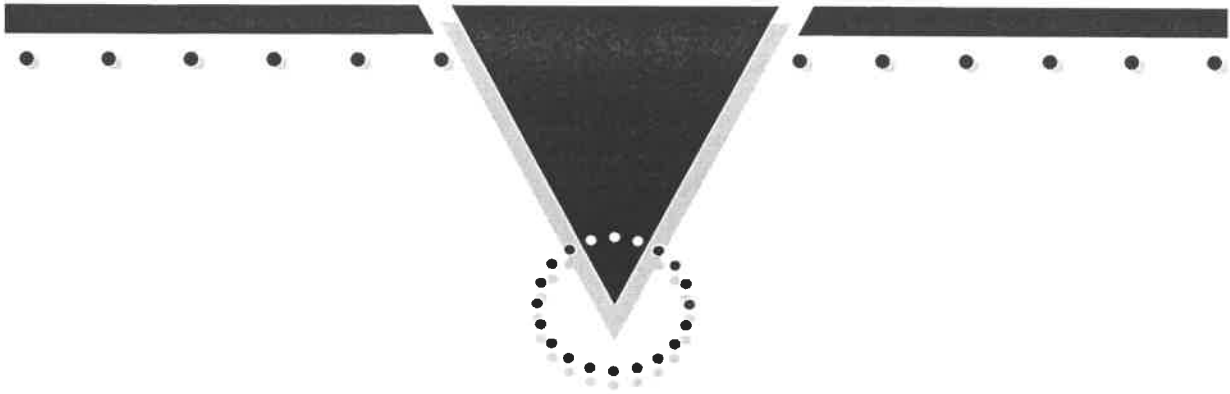
Ed Neal

Debra Donton

Roy Miller

Brian Andrelczyk

SECTION IV



**Valencia
Water Control District**

**Unaudited Financial Reporting
January 31, 2022**



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VALENCIA
WATER CONTROL DISTRICT
BALANCE SHEET
January 31, 2022

	General Fund	Capital Reserve Fund	Totals 2022
ASSETS:			
<i>CURRENT ASSETS</i>			
OPERATING - SUNTRUST	\$393,097	---	\$393,097
CAPITAL RESERVE - SUNTRUST	---	\$55,721	\$55,721
<u>INVESTMENTS</u>			
SBA - CAPITAL RESERVES	---	\$571,508	\$571,508
SBA - OPERATING RESERVES	\$52,659	---	\$52,659
PETTY CASH	\$100	---	\$100
TOTAL CURRENT ASSETS	<u>\$445,856</u>	<u>\$627,229</u>	<u>\$1,073,085</u>
 <u>FIXED ASSETS</u>			
LAND	\$700,120	---	\$700,120
STRUCTURES	\$672,531	---	\$672,531
CANALS	\$2,888,690	---	\$2,888,690
PONDS	\$1,245,537	---	\$1,245,537
EQUIPMENT & OFFICE FURNITURE	\$12,767	---	\$12,767
ACCUMULATED DEPRECIATION	(\$4,777,731)	---	(\$4,777,731)
TOTAL FIXED ASSETS	<u>\$741,914</u>	<u>\$0</u>	<u>\$741,914</u>
 TOTAL ASSETS	 <u><u>\$1,187,770</u></u>	 <u><u>\$627,229</u></u>	 <u><u>\$1,814,999</u></u>
 LIABILITIES:			
ACCOUNTS PAYABLE	---	---	\$0
 FUND EQUITY:			
<i>FUND BALANCES:</i>			
UNASSIGNED	\$445,856	\$627,229	\$1,073,085
NET ASSETS CAPITALIZED	\$741,914	---	\$741,914
 TOTAL LIABILITIES & FUND EQUITY	 <u><u>\$1,187,770</u></u>	 <u><u>\$627,229</u></u>	 <u><u>\$1,814,999</u></u>

VALENCIA

WATER CONTROL DISTRICT

GENERAL FUND

Statement of Revenues & Expenditures

For The Period Ending January 31, 2022

	ADOPTED BUDGET	PRORATED BUDGET THRU 1/31/22	ACTUAL THRU 1/31/22	VARIANCE
<u>REVENUES:</u>				
ASSESSMENTS - TAX ROLL	\$553,302	\$321,752	\$321,752	\$0
INTEREST	\$125	\$42	\$29	(\$13)
TOTAL REVENUES	\$553,427	\$321,794	\$321,781	\$16
<u>EXPENDITURES:</u>				
<u>ADMINISTRATIVE:</u>				
SUPERVISORS FEES	\$2,500	\$833	\$250	\$583
ENGINEERING	\$37,200	\$12,400	\$9,235	\$3,165
ATTORNEY	\$12,000	\$4,000	\$4,000	\$0
ANNUAL AUDIT	\$5,200	\$0	\$0	\$0
ASSESSMENT ROLL CERTIFICATION MANAGEMENT FEES	\$2,500	\$2,500	\$2,500	\$0
INFORMATION TECHNOLOGY	\$50,264	\$16,755	\$16,755	(\$0)
WEBSITE ADMINISTRATION	\$1,050	\$350	\$350	\$0
INSURANCE	\$600	\$200	\$200	\$0
REPORT PREPARATION - NPDES	\$13,050	\$13,050	\$12,258	\$792
OFFICE LEASE	\$15,000	\$5,000	\$2,666	\$2,334
PRINTING & BINDING	\$12,980	\$4,327	\$4,377	(\$50)
POSTAGE	\$500	\$167	\$135	\$32
TRAVEL PER DIEM	\$500	\$167	\$98	\$69
LEGAL ADVERTISING	\$100	\$33	\$0	\$33
BANK FEES	\$2,500	\$833	\$0	\$833
OTHER CURRENT CHARGES	\$150	\$50	\$156	(\$106)
OFFICE SUPPLIES	\$400	\$133	\$0	\$133
ELECTION FEES	\$750	\$250	\$37	\$213
MEETING RENTAL FEE	\$3,600	\$0	\$0	\$0
PROPERTY APPRAISER FEE	\$500	\$167	\$0	\$167
DUES, LICENSES & SUBSCRIPTIONS	\$5,408	\$0	\$0	\$0
	\$2,150	\$1,675	\$1,675	\$0
TOTAL ADMINISTRATIVE	\$168,902	\$62,890	\$54,691	\$8,199

VALENCIA

WATER CONTROL DISTRICT

GENERAL FUND

Statement of Revenues & Expenditures

For The Period Ending January 31, 2022

	ADOPTED BUDGET	PRORATED BUDGET THRU 1/31/22	ACTUAL THRU 1/31/22	VARIANCE
<u>FIELD OPERATIONS:</u>				
<u>UTILITIES:</u>				
ELECTRIC	\$750	\$250	\$118	\$132
WATER & SEWER	\$500	\$167	\$82	\$84
<u>CONTRACTS:</u>				
AQUATIC WEED CONTROL	\$40,000	\$13,333	\$9,288	\$4,045
MOWING	\$98,289	\$19,079	\$19,079	\$0
WATER QUALITY MONITORING	\$19,746	\$6,582	\$4,937	\$1,646
<u>REPAIRS & MAINTENANCE:</u>				
CANAL & RETENTION POND MAINTENANCE	\$85,000	\$28,333	\$6,545	\$21,788
OFFICE	\$500	\$167	\$45	\$122
SECURITY GATES & SIGNS	\$750	\$250	\$0	\$250
<u>OTHER:</u>				
NPDES INSPECTION & FEES	\$6,000	\$2,000	\$1,875	\$125
OPERATING SUPPLIES	\$500	\$167	\$0	\$167
CONTINGENCY	\$2,500	\$833	\$0	\$833
TOTAL FIELD OPERATIONS	\$254,535	\$71,160	\$41,969	\$29,192
<u>OTHER USES</u>				
TRANSFER OUT - CAPITAL RESERVE (CY)	\$233,255	\$0	\$0	\$0
TOTAL OTHER USES	\$233,255	\$0	\$0	\$0
TOTAL EXPENDITURES	\$656,691	\$134,050	\$96,660	\$37,390
EXCESS REVENUES (EXPENDITURES)	(\$103,264)		\$225,121	
FUN D BALANCE - Beginning	\$103,264		\$962,650	
FUN D BALANCE - Ending	(\$0)		\$1,187,770	

VALENCIA

WATER CONTROL DISTRICT

CAPITAL RESERVE FUND

Statement of Revenues & Expenditures

For The Period Ending January 31, 2022

	ADOPTED BUDGET	PRORATED BUDGET THRU 1/31/22	ACTUAL THRU 1/31/22	VARIANCE
REVENUES:				
TRANSFER IN	\$233,255	\$0	\$0	\$0
INTEREST	\$200	\$67	\$228	\$162
TOTAL REVENUES	\$233,455	\$67	\$228	\$162
EXPENDITURES:				
EXPENDITURES				
CONTINGENCY	\$0	\$0	\$136	(\$136)
CAPITAL IMPROVEMENTS	\$100,000	\$33,333	\$0	\$33,333
TOTAL EXPENDITURES	\$100,000	\$33,333	\$136	\$33,197
EXCESS REVENUES (EXPENDITURES)	\$133,455		\$92	
FUN D BALANCE - Beginning	\$548,386		\$627,137	
FUN D BALANCE - Ending	\$681,841		\$627,229	

VALENCIA
Water Control District

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Total
REVENUES:													
ASSESSMENTS - TAX ROLL	\$0	\$26,034	\$197,548	\$98,170	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$321,752
INTEREST	\$6	\$6	\$8	\$10	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$29
TOTAL REVENUES	\$6	\$26,039	\$197,556	\$98,180	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$321,781
EXPENDITURES:													
ADMINISTRATIVE:													
SUPERVISORS FEES	\$0	\$0	\$250	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$250
ENGINEERING	\$2,935	\$2,100	\$2,100	\$2,100	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$9,235
ATTORNEY	\$1,000	\$1,000	\$1,000	\$1,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$4,000
ANNUAL AUDIT	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
ASSESSMENT ROLL CERTIFICATION	\$2,500	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,500
MANAGEMENT FEES	\$4,189	\$4,189	\$4,189	\$4,189	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$16,755
INFORMATION TECHNOLOGY	\$88	\$88	\$88	\$88	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$350
WEBSITE ADMINISTRATION	\$50	\$50	\$50	\$50	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$200
INSURANCE	\$12,258	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$12,258
REPORT PREPARATION - NPDES	\$0	\$1,496	\$1,170	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,666
OFFICE LEASE	\$1,082	\$1,082	\$1,132	\$1,082	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$4,377
PRINTING & BINDING	\$89	\$3	\$0	\$43	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$135
POSTAGE	\$46	\$5	\$3	\$44	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$98
TRAVEL PER DIEM	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
LEGAL ADVERTISING	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
BANK FEES	\$43	\$31	\$44	\$39	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$156
OTHER CURRENT CHARGES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
OFFICE SUPPLIES	\$19	\$0	\$0	\$18	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$37
ELECTION FEES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
MEETING RENTAL FEE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
PROPERTY APPRAISER FEE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
DUES, LICENSES & SUBSCRIPTIONS	\$1,675	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,675
TOTAL ADMINISTRATIVE	\$25,972	\$10,042	\$10,024	\$8,653	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$54,691

VALENCIA
Water Control District

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Total
FIELD OPERATIONS:													
UTILITIES:													
ELECTRIC	\$49	\$36	\$17	\$16	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$118
WATER & SEWER	\$27	\$0	\$55	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$82
CONTRACTS:													
AQUATIC WEED CONTROL	\$2,322	\$2,322	\$2,322	\$2,322	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$9,288
MOWING	\$14,738	\$4,340	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$19,079
WATER QUALITY MONITORING	\$1,646	\$1,646	\$1,646	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$4,937
REPAIRS & MAINTENANCE:													
CANAL & RETENTION POND MAINTENANCE	\$1,000	\$5,545	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$6,545
OFFICE	\$0	\$45	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$45
SECURITY GATES & SIGNS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
OTHER:													
NPDES INSPECTION & FEES	\$0	\$0	\$1,875	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,875
OPERATING SUPPLIES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
CONTINGENCY	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL FIELD OPERATIONS	\$19,782	\$13,934	\$5,915	\$2,338	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$41,969
OTHER USES:													
TRANSFER OUT - CAPITAL RESERVE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL OTHER USES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL EXPENDITURES	\$45,754	\$23,976	\$15,839	\$10,991	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$96,660
EXCESS REVENUES (EXPENDITURES)	(\$45,748)	\$2,063	\$181,617	\$87,188	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$225,121

**VALENCIA
WATER CONTROL DISTRICT**

SPECIAL ASSESSMENT RECEIPTS - FY2022

TAX COLLECTOR

Gross Assessments \$ 577,591 \$ 577,591
Net Assessments \$ 548,712 \$ 548,712

Date Received	Dist.#	Gross Assessments Received	Discounts/ Penalties	Commissions Paid	Interest Income	Net Amount Received	General Fund 100.00%	Total 100%
11/4/21	1	\$ 1,506.07	\$ 151.55	\$ 48.52	\$ -	\$ 1,306.00	\$ 1,306.00	\$ 1,306.00
11/10/21	2	\$ 5,795.85	\$ 231.61	\$ 55.64	\$ -	\$ 5,508.60	\$ 5,508.60	\$ 5,508.60
11/18/21	3	\$ 20,220.30	\$ 807.17	\$ 194.13	\$ -	\$ 19,219.00	\$ 19,219.00	\$ 19,219.00
12/2/21	4	\$ 37,435.75	\$ 1,497.11	\$ 359.39	\$ -	\$ 35,579.25	\$ 35,579.25	\$ 35,579.25
12/9/21	5	\$ 127,407.92	\$ 5,095.91	\$ 1,223.12	\$ -	\$ 121,088.89	\$ 121,088.89	\$ 121,088.89
12/16/21	6	\$ 43,005.69	\$ 1,720.03	\$ 412.86	\$ 7.20	\$ 40,880.00	\$ 40,880.00	\$ 40,880.00
1/12/22	7	\$ 103,292.08	\$ 4,130.34	\$ 991.62	\$ -	\$ 98,170.12	\$ 98,170.12	\$ 98,170.12
		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
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		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Totals		\$ 338,663.66	\$ 13,633.72	\$ 3,285.28	\$ 7.20	\$ 321,751.86	\$ 321,751.86	\$ 321,751.86

SECTION V

SECTION A



VALENCIA WATER CONTROL DISTRICT
219 E. LIVINGSTON STREET, ORLANDO, FL 32801
PHONE: 407-841-5524 x 101 - FAX: 407-839-1526

January 11, 2022

Park Square Grand Pines, LLC
Attn: Vishaal Gupta
200 Vineland Road
Orlando, FL 32811

Subject: Permit #0520

Dear Mr. Gupta:

Park Square Grand Pines, LLC is hereby granted a construction permit related to the Residential Redevelopment site. Approval is granted in accordance with approved plans and hydraulic calculations and the following **GENERAL AND SPECIFIC CONDITIONS**:

GENERAL CONDITIONS:

1. That the District or their agents may at any time make such inspections as they may deem necessary to ensure that the construction or work is performed in accordance with the conditions of this permit.
2. That the permittee will maintain the work authorized herein during construction and thereafter in good condition in accordance with the approved plans.
3. That the permittee shall comply promptly with any lawful regulations, conditions, or instructions affecting the structure or work authorized herein if and when issued by the U.S. Environmental Protection Agency, the South Florida Water Management District and the Florida Department of Environmental Protection and/or any county or city environmental protection agency having jurisdiction to abate or prevent water pollution, including thermal or radiation pollution. Such regulations, conditions, or instructions in effect or hereafter prescribed by the federal, state, county and city agencies have hereby made a condition of this permit.
4. It is understood and agreed that the rights and privileges herein set out are granted only to the extent of the District's right, title and interest in the land to be entered upon and used by the permittee, and the permittee will at all times, assume all risk and indemnify, defend and save harmless Valencia Water Control District from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercises by the permittee of the aforesaid rights and privileges.

5. The permittee and/or their agents will use every measure to prevent the run-off of turbid water into the District's facilities including, but not limited to, the use of temporary ponds, silt barriers, chemical additives and temporary grassing during construction.
6. If discharge of water by permittee should at any time raise the level of pollutants in the District's water management facility to the point where the District is in violation of a statute or regulation, permittee will either: (a) immediately cease such discharge, (b) remove pollutants from the water before discharging into District facilities, and pay all costs which the District must incur in order to reduce pollution in the District's facilities to acceptable levels.
7. That all the provisions of this permit shall be binding on any assignee or successor in interest of the permittee.
8. That any modification, suspension or revocation of this permit shall not be the basis for a claim for damages against Valencia Water Control District.
9. The Valencia Water Control District agrees that the issuance of this permit allows the passage of water through their canals but in so doing does not assume any responsibility for damage to any persons or property.
10. That the engineer of record certify that the facilities as constructed comply with the submitted hydraulic calculations and approved drawings.
11. That the permittee agrees not to modify or alter the constructed facilities at any future time without the express consent of the District.
12. This permit is valid for 3 years from date of approval or runs concurrently with the SFWMD permit, if required, whichever expires first.
13. That this permit must be executed within 30 days of Board approval or must be brought back to the Board for reconsideration.

END OF GENERAL CONDITIONS

SPECIFIC CONDITIONS

1. That the Construction Plans, sheets C0.01 – C0.02; C0.03; C0.04; C1.00 – C1.01; C1.10; C2.00; C3.00 – C3.01; C3.10; C3.20; C4.00 – C4.02; C4.03; C5.00; C5.01; C5.10; C5.20; C5.30; C5.40; C6.00 – C6.02; C7.00 – C7.02; C7.10; C7.20; L400; L401 – L403; L410; L500; L501 – L503; L510 titled Grande Pines Orangewood N-2 PD Parcel 11D Phase 5 as recommended for approval by the District Engineer on December 21, 2021, become part of this permit.

Attest:

Signature: _____
Park Square Grande Pines, LLC

Title: _____

Attest:

Granted by:

Valencia Water Control District

By: _____
Roy Miller, President

On this ____ day of _____, 2022



1117 East Robinson St.
Orlando, FL 32801
Phone: 407.425.0452
Fax: 407.648.1036

December 21, 2021

Board of Directors
Valencia Water Control District
10365 Orangewood Boulevard
Orlando, Florida 32821

RE: Grande Pines Phase 5 – Orangewood N-2 PD Parcel 11D (Residential)
VWCD Permit No. 520
CPH Project No. 6816.07

Dear Honorable Board Members:

We have completed our review of the above referenced project originally submitted by Poulos & Bennett, November 8, 2021 and review comments response on December 8, 2021. Based on our review, we have no objection to the Board approving this permit.

Sincerely,

CPH, INC

A handwritten signature in black ink, appearing to read 'D. Mahler', is written over the printed name below.

David E. Mahler, P.E.
District Engineer

Cc: Mr. Darin Lockwood, P.E., Poulos & Bennett
file

Permit No. _____
(Assigned by V.W.C.D.)

APPLICATION TO BOARD OF SUPERVISORS OF
Valencia Water Control District
for Permit

(1) PROPOSED USE: **Residential Redevelopment**

(2) LOCATION OF WORK: Block: Lot: Subdivision:
or Section: 13 Township: 24 Range: 28

(3) DISTRICT WORKS INVOLVED:

Construction of Parcel 11D Phase 5 includes 114 townhomes, as well as the associated internal roadways, drainage and utility infrastructure. The Phase 5 site is 14.414 acres and is part of the original VWCD Permit #0472 for the redevelopment of the golf course. The Phase 5 site drains to Pond 10B and Pond 9C which has been previously permitted for construction with Phase 2 portion of the overall project. Pond 9C cascades into 9B which discharges into VWCD Canal C-1. Pond 10B NCL elevation has been dropped from 112.00 to 109.05 (NAVD 88) per final Engineering Geotech Report, pond areas and discharge were kept the same as it was previously approved. Enclosed please find the updated Master drainage system and modeling for review.

(4) OWNER OF PROPOSED WORK OR STRUCTURE: Phone #:
Name: **Park Square Grand Pines, LLC, c/o Vishaal Gupta** Title:
Address: **200 Vineland Road, Orlando, FL 32811**

(5) APPLICATION OTHER THAN OWNER: (if any) Phone #: Name:
Address: (Street) (City) (State)
(Zip)

(6) AREA PROPOSED TO BE SERVED: Give legal description and size in acres. Attach legal description if necessary. If land is platted, indicate Block, Lot and Subdivision.

See Attached Legal

(7) CONSTRUCTION SCHEDULE: **The proposed work, if permitted, will begin within 90 Calendar days of permit approvals.**

(8) This application, including sketches, drawings or plans and specifications attached contains a full and complete description of the work proposed or use desired of the above described facilities of the District and for which permit is herewith applied. It shall be a part of any permit that may be issued. It is agreed that all work or the use of the District's facilities will be in accordance with the permit to be granted.

Submitted this 8 day of Nov, 2020

Signature of Owner (Officer of Corporation):



Print Name of Owner (Officer): Vishaal Gupta

Construction Plans

for

Grande Pines

Orangewood N-2 PD Parcel 11D Phase 5

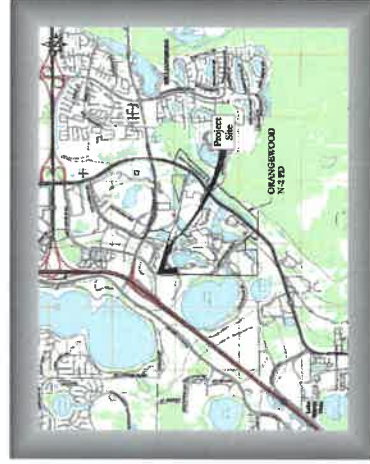
Orange County, FL
PSP-15-03-060

Parcel Id. No.:
13-24-28-6283-07-001 (Partial)

Utility Providers	
Public Water Service	Orange County Utilities Division
Sanitary Service	Orange County Utilities Division
Electric Service	Orange County Utilities Division
Other Utility	

Sheet Id.	Sheet Index	Sheet Title	Submit/Rev.
C004	C002	Construction Notes	1
C003		BCC Conditions of Approval	2
C004		Existing Conditions & Topography	3
C100	C101	Demolition And Erosion Control Plan	4
C110		Centerline Geometry Plan	5
C200		Mainline Site Plan & Site Data	6
C300	C301	Typical Road Sections & General Construction Details	
C310		Parking Designation & Sight Distance Plan	
C320		Fire Access Plan	
C400	C402	Grading Plan	
C403		Grading Details	
C500		Drainage & Wastewater Plan	
C501		Control Structure Details	
C510		Utility Site Plan	
C520		Water Distribution Plan	
C530		Reclaim Water Distribution Plan	
C540		Utility Assest Tables	
C600	C602	Plan & Profiles	
C700	C702	General Construction Details	
C710		Standard Water Details	
C720		Standard Wastewater Details	
L400		Overall Landscape Plan	
L401	L403	Landscape Plan Code	
L410		Landscape Details & Notes	
L500		Overall Irrigation Plan	
L501	L503	Irrigation Plan	
L510		Irrigation Details & Notes	

Owner/Developer/Applicant:
Park Square Grande Pines LLC
5200 Vineland Road Suite 200
Orlando, FL 32811
EMAIL: NANCY@PARKSQUAREPINES.COM
PHONE: 407.528.3344



Vicinity Map
Scale 1" = 3,000'

Civil Engineer:
Jordan & Bennett, LLC
2600 E. Colonial Ave.
Orlando, FL 32803
407.467.2594

Surveyor:
Allina & Company
10000 E. Colonial Ave., Suite 201
Orlando, FL 32803
407.654.5355

Geotechnical Engineer:
Universal Engineering Sciences
533 Magnolia Blvd.
Orlando, FL 32811
407.483.6504
407.423.3106

Environmental:
Mondica & Associates
3000 E. Colonial Ave., Suite 201
Orlando, FL 32803
352.394.2000

Landscape Architect:
Bonnert Design Group, LLC
10000 E. Colonial Ave., Suite 201
Orlando, FL 32803
407.622.1588

DATE: November 11, 2021
DRAWN BY: J. MONDICA
CHECKED BY: J. MONDICA
SCALE: AS SHOWN
PROJECT: ORANGE COUNTY
SUBMITTAL NO. 15-03-060

POULOS & STAINNETT
10000 E. Colonial Ave., Suite 201
Orlando, FL 32803
Tel: 407.467.2594
Fax: 407.467.2595
PSP Job No.: 15-007

NOTE: CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE LATEST MANUAL OF PRACTICE STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE FOR ORANGE COUNTY, FLORIDA. THESE STANDARDS ARE AVAILABLE IN THE ORANGE COUNTY REGULATIONS AND SPECIFICATIONS.

Key Map:



314 EAST STREET
DAVIE FLORIDA 33415
(407)854-5355/(407)-564-5356

DATE: November 11, 2011
DRAWN BY: K. L. KROGG
CHECKED BY: J. M. KROGG

DATE	NOVEMBER 11, 2011
DRAWN BY	K. L. KROGG
CHECKED BY	J. M. KROGG

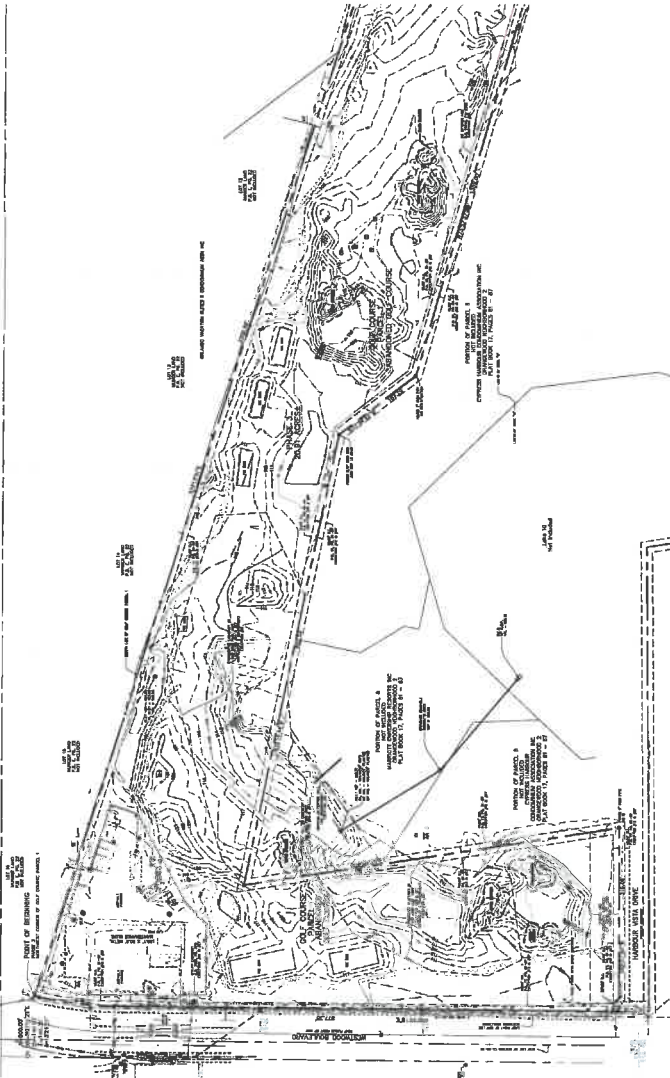
**GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5**

Submitted To:
ORANGE COUNTY, FL
Sheet Title:
**EXISTING
CONDITIONS**

Sheet No.:
C0.04



Consultant:
Consulting Engineers & Surveyors, Inc.
Krogh & Bennett, LLC
2005 E. Johnson St., Orlando, FL 32809
(407)407-4600
www.kroghandbennett.com

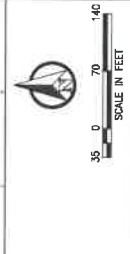


DEFINITIONS:
ALL DISTANCES ARE AS SHOWN ON THIS PLAN UNLESS OTHERWISE SPECIFIED.
ALL DISTANCES ARE TO BE MEASURED ALONG THE CENTER LINE OF THE ROAD OR ALONG THE CENTER LINE OF THE CANAL UNLESS OTHERWISE SPECIFIED.
ALL DISTANCES ARE TO BE MEASURED ALONG THE CENTER LINE OF THE ROAD OR ALONG THE CENTER LINE OF THE CANAL UNLESS OTHERWISE SPECIFIED.
ALL DISTANCES ARE TO BE MEASURED ALONG THE CENTER LINE OF THE ROAD OR ALONG THE CENTER LINE OF THE CANAL UNLESS OTHERWISE SPECIFIED.

- LEGEND:**
- 1. EXISTING SURFACE ELEVATION
 - 2. PROPOSED SURFACE ELEVATION
 - 3. EXISTING ROADS
 - 4. PROPOSED ROADS
 - 5. EXISTING CANALS
 - 6. PROPOSED CANALS
 - 7. EXISTING UTILITIES
 - 8. PROPOSED UTILITIES
 - 9. EXISTING STRUCTURES
 - 10. PROPOSED STRUCTURES
 - 11. EXISTING FENCES
 - 12. PROPOSED FENCES
 - 13. EXISTING POWER LINES
 - 14. PROPOSED POWER LINES
 - 15. EXISTING TELEPHONE LINES
 - 16. PROPOSED TELEPHONE LINES
 - 17. EXISTING WATER MAINS
 - 18. PROPOSED WATER MAINS
 - 19. EXISTING SEWER LINES
 - 20. PROPOSED SEWER LINES
 - 21. EXISTING GAS LINES
 - 22. PROPOSED GAS LINES
 - 23. EXISTING AIR CONDITIONING UNITS
 - 24. PROPOSED AIR CONDITIONING UNITS
 - 25. EXISTING PAVEMENT
 - 26. PROPOSED PAVEMENT
 - 27. EXISTING GRASS
 - 28. PROPOSED GRASS
 - 29. EXISTING TREES
 - 30. PROPOSED TREES
 - 31. EXISTING CLEARING
 - 32. PROPOSED CLEARING
 - 33. EXISTING EROSION CONTROL
 - 34. PROPOSED EROSION CONTROL
 - 35. EXISTING STORM DRAINAGE
 - 36. PROPOSED STORM DRAINAGE
 - 37. EXISTING LANDSCAPE
 - 38. PROPOSED LANDSCAPE
 - 39. EXISTING SIGNAGE
 - 40. PROPOSED SIGNAGE
 - 41. EXISTING LIGHTING
 - 42. PROPOSED LIGHTING
 - 43. EXISTING SECURITY
 - 44. PROPOSED SECURITY
 - 45. EXISTING FURNITURE
 - 46. PROPOSED FURNITURE
 - 47. EXISTING PAINT
 - 48. PROPOSED PAINT
 - 49. EXISTING CONCRETE
 - 50. PROPOSED CONCRETE

NO. 11D
NO. 11C
NO. 11B
NO. 11A
NO. 11
NO. 10
NO. 9
NO. 8
NO. 7
NO. 6
NO. 5
NO. 4
NO. 3
NO. 2
NO. 1

Key Map:



DEMOLITION LEGEND

- 1 EXISTING CURB, PAVEMENT, CONCRETE, & ARCHITECTURAL STRUCTURES TO BE REMOVED
 - 2 EXISTING FENCES, WALLS, & ASSOCIATED ITEMS TO BE REMOVED
 - 3 EXISTING DRIVEWAY RAMP TO BE REMOVED
 - 4 EXISTING FIRE HYDRANT & FDC TO BE REMOVED
 - 5 EXISTING LIGHT POLES TO BE REMOVED
- LIMITS OF DISTURBED AREA
 - SPLIT FENCE & DUST BARRIER (SEE CLUT FOR DETAILS)
 - DOUBLE SPLIT FENCE & DUST BARRIER
 - PROPERTY LINE
 - EXISTING SIDEWALK TO BE REMOVED

Soil #	Soil Name	Remediation	Depth
28	Inventories Fine Sand	B/O	0 to 2 Percent
34	One Fine Sand, 0 to 2 Percent	B/O	0 to 5
35	Partial Fine Sand, 0 to 5	A	
37	IS: John's Fine Sand	B/O	
42	Scrubby Muck	A/O	
44	Shoreline Fine Sand, 0 to 2 Percent	A/O	
54	2-6% Fine Sand, 0 to 2 Percent	A	

Source: USDA National Resources - Orange County, FL (1999)

NOTES:
1. PHASE 1 PERMIT NUMBER IS 31802728

CALL BEFORE YOU DIG/AWATE
"CALL SUNSHINE"
1-800-432-4770
FL STATE GAS (301)977-8888
OR FL STATE WATER (301)977-8888
NOTICE BEFORE YOU DIG/AWATE



PROJECT NAME: **GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 5**

PROJECT NO: **CI.000**

DATE: **NOVEMBER 11, 2021**

SCALE: **1" = 20'**

Submitted To: **ORANGE COUNTY, FL**

Sheet Title: **DEMOLITION & EROSION CONTROL PLAN**

Scale: **1" = 20'**

Project No: **CI.000**

DATE: **NOVEMBER 11, 2021**

DESIGNER: **DAVID ALIX CONSULTING P.A.**

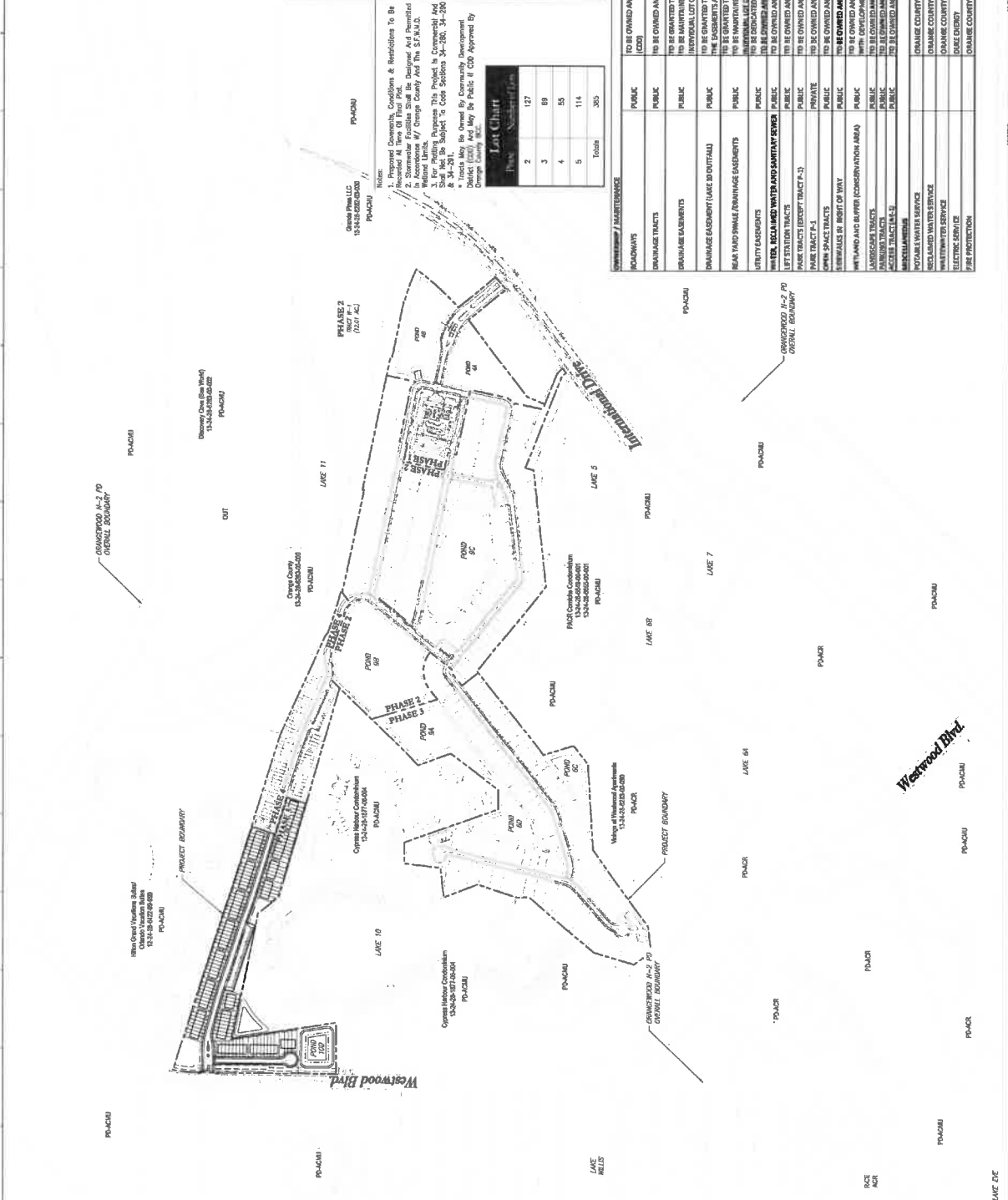
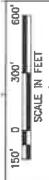
PROJECT NO: **CI.000**

DATE: **NOVEMBER 11, 2021**

DAVID ALIX CONSULTING P.A.
11000 W. UNIVERSITY BLVD., SUITE 100
ORLANDO, FL 32835
TEL: 407.227.8888
WWW.DAVIDALIX.COM

FRANKS & REARREST, LLC
11000 W. UNIVERSITY BLVD., SUITE 100
ORLANDO, FL 32835
TEL: 407.227.8888
WWW.FRANKSANDREARREST.COM

Key Map



General Site Data PHASE 3

Land Use	Zoning	Low Density Residential	High Density Residential
Total Lots (Proposed)	114	14,37	0.00
Total Lots/Units	14,37	14,37	0.00
Total Acres	14,37	14,37	0.00
Contour Slope / Ac.	3.3	3.3	0.0
Min. Lot Area / Ac.	143	143	0.0
Max. Building Height	30' (2 Stories)	30' (2 Stories)	0.0
Min. Average Lot Size (Acreage)	1,800 SF	1,800 SF	0.0
Min. Lot Width (Proposed)	22'	22'	0.0
Min. Lot Depth (Proposed)	22'	22'	0.0
Min. Lot Depth (Proposed)	85'	85'	0.0
Min. Lot Depth (Proposed)	85'	85'	0.0

LAKES CHART

Phase	Number of Lakes
1	127
2	3
3	89
4	55
5	114
Total	308

Item	Quantity	Notes
ROADWAYS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT (CDD)
DRAINAGE TRACTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CDD
SEWERAGE TRACTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CDD. SEWERAGE FACILITIES WITHIN THE SEWERAGE ARE TO BE MAINTAINED BY THE CDD. SEWERAGE SHALL BE MAINTAINED BY INDIVIDUAL LOT OWNERS.
DRAINAGE EASEMENT (LAKE 01 OUTFALL)	PUBLIC	TO BE GRANTED TO ORANGE COUNTY AND THE CDD. DRAINAGE FACILITIES WITHIN THE EASEMENTS ARE TO BE MAINTAINED BY THE CDD.
SEWERAGE EASEMENT (LAKE 01 OUTFALL)	PUBLIC	TO BE GRANTED TO ORANGE COUNTY AND THE CDD. SEWERAGE FACILITIES WITHIN THE EASEMENTS ARE TO BE MAINTAINED BY THE CDD. SEWERAGE SHALL BE MAINTAINED BY INDIVIDUAL LOT OWNERS.
UTILITY EASEMENTS	PUBLIC	TO BE GRANTED TO ORANGE COUNTY UTILITIES WITHIN THE EASEMENTS ARE TO BE OWNED AND MAINTAINED BY ORANGE COUNTY
WATER, SEWER AND WIND SANITARY SEWER	PUBLIC	TO BE OWNED AND MAINTAINED BY ORANGE COUNTY UTILITIES
LEFT STATION TRACTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT
PAVE TRACTS (EXCEPT TRACT P-3)	PRIVATE	TO BE OWNED AND MAINTAINED BY PROPERTY OWNERS ASSOCIATION
OPEN SPACE TRACTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT
ENTRANCE ST. RIGHT OF WAY	PUBLIC	TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT
WETLAND AND BUFFER (CONSERVATION AREA)	PUBLIC	WITH DEVELOPMENT RIGHTS DELEGATED TO ORANGE COUNTY
UNUSABLE TRACTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT
ACCESS TRACT (A-3)	PUBLIC	TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT
MARKETABLE TRACTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT
WATER UTILITIES	ORANGE COUNTY UTILITIES	
SEWER UTILITIES	ORANGE COUNTY UTILITIES	
WASTEWATER SERVICE	ORANGE COUNTY UTILITIES	
ELECTRIC SERVICE	DUKE ENERGY	
FIRE PROTECTION	ORANGE COUNTY FIRE RESCUE	

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
MASTER SITE PLAN & SITE DATA

Sheet No.:
C2.00



Scale:
C2.00

Project Name:
**GRAND PINES ORANGETOWN
N-2 PD
PARCEL 11D
PHASE 5**

Project Location:
154-28-028-0000
154-28-028-0000
154-28-028-0000
154-28-028-0000

Owner:
Grand Pines LLC
154-28-028-0000
154-28-028-0000

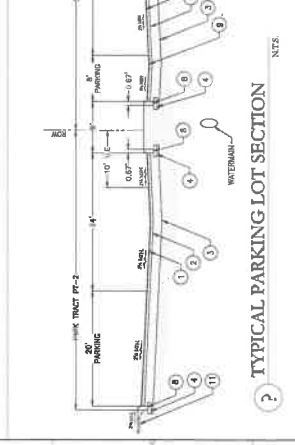
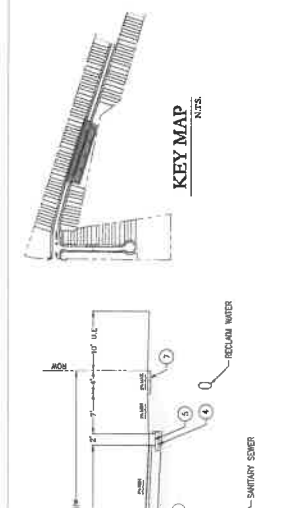
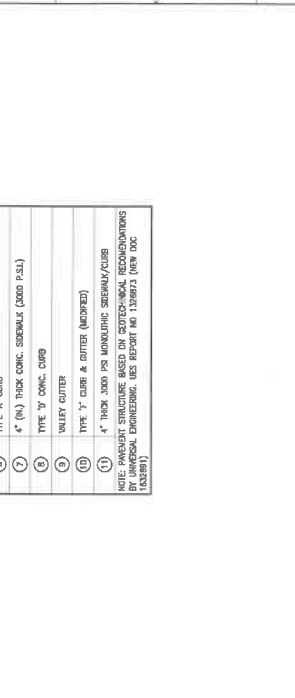
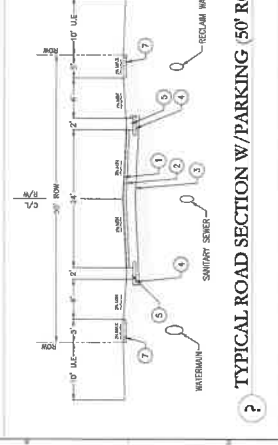
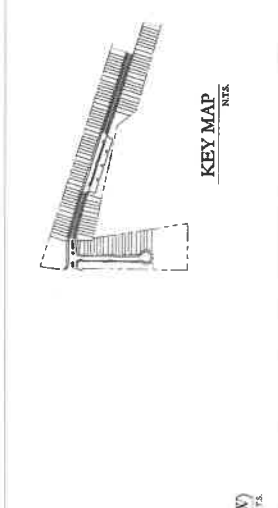
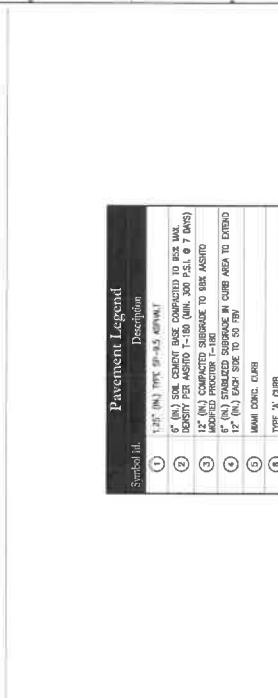
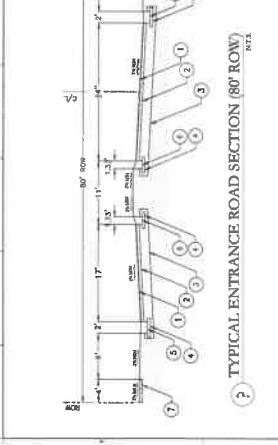
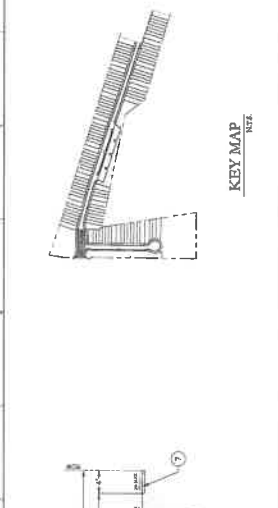
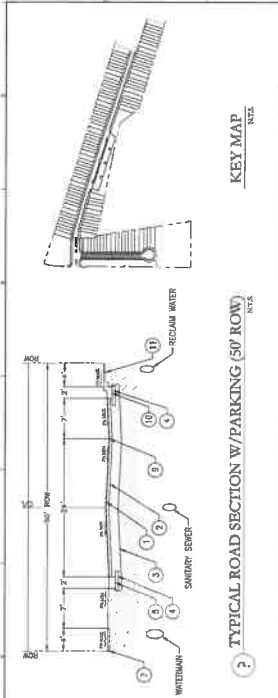
Notes:
1. All easements, conditions, & restrictions to be recorded in the public records of Orange County and the State of Florida.
2. Stormwater facilities shall be designed and permitted in accordance with the Florida Stormwater Management Manual, 6th Edition, 2014.
3. All other utilities shall be designed and permitted in accordance with the applicable codes and standards.
4. This site plan is submitted for review and approval by the Orange County Board of County Commissioners.
5. This site plan is submitted for review and approval by the Orange County Board of County Commissioners.

Prepared by:
Paula & Bennett, LLC
154-28-028-0000
154-28-028-0000

DATE: December 11, 2021

DATE: December 11, 2021

Key Map



Symbol Id.	Description
1	1.5" TYPE 1.5 ASPHALT
2	4" (N) 5% ASPHALT BASE COMPACTED TO 98% M.V. READY FOR ASPHALT (1-160 U.M., 200 P.S.I. @ 7 DAYS)
3	12" (N) 1% COMPACTED SURGRADE TO SIK ASPHALT IMPROVED PRACTICE (1-160)
4	12" (N) 1% COMPACTED SURGRADE TO SIK ASPHALT IMPROVED PRACTICE (1-160) CUB MESH TO EXTEND 12" (N) EACH SIDE TO CURB
5	18" (N) 1% CONG. CURB
6	TYPE 'N' CURB
7	4" (N) THICK CONG. SIDEWALK (2000 P.S.I.)
8	TYPE 'B' CONG. CURB
9	VALLEY CUTTER
10	TYPE 'Y' CURB & GUTTER (MICHIGAN)
11	4" THICK 3000 PSI HANDBLOCK SIDEWALK/CURB

NOTE: HANDBLOCK SIDEWALKS BASED ON GEOTECHNICAL RECOMMENDATIONS BY UNIVERSAL ENGINEERING, LLC REPORT NO. UENR0174 (REV. DEC 16, 2008)

GRANDE PINES
GRANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5

Project Name:
SHEET NO. 11

Submitted To:
ORANGE COUNTY, FL

Submitted By:
TYPICAL ROAD
SECTIONS &
GENERAL
CONSTRUCTION
DETAILS

Sheet No.:
C3.00

Date:
November 11, 2014

Scale:
AS SHOWN

Project Location:
ORANGE COUNTY, FL

Project No.:
C3.00

Project Name:
GRANDE PINES
GRANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5

Submitted To:
ORANGE COUNTY, FL

Submitted By:
TYPICAL ROAD
SECTIONS &
GENERAL
CONSTRUCTION
DETAILS

Sheet No.:
C3.00

Date:
November 11, 2014

Scale:
AS SHOWN

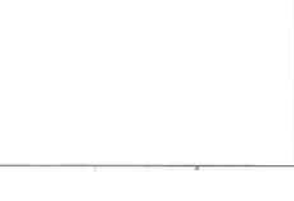
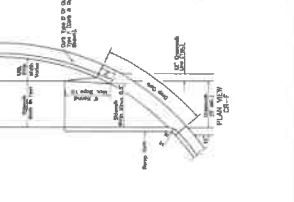
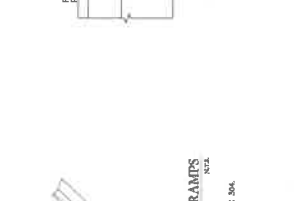
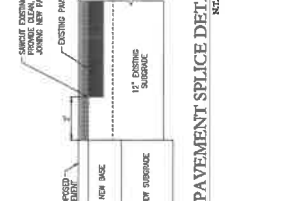
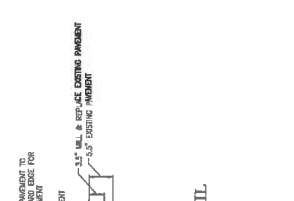
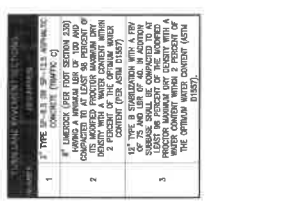
Project Location:
ORANGE COUNTY, FL

Project No.:
C3.00

Project Name:
GRANDE PINES
GRANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5

NOTES:

1. RECORD OF GEOTECHNICAL INVESTIGATION (RGI) SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER. THE CONTRACTOR SHALL VERIFY THE RGI DATA AND REPORT TO THE ENGINEER WITHIN 14 DAYS OF THE START DATE OF THE PROJECT.
2. CONTRACTOR SHALL VERIFY THE RGI DATA AND REPORT TO THE ENGINEER WITHIN 14 DAYS OF THE START DATE OF THE PROJECT.
3. CONTRACTOR SHALL VERIFY THE RGI DATA AND REPORT TO THE ENGINEER WITHIN 14 DAYS OF THE START DATE OF THE PROJECT.
4. CONTRACTOR SHALL VERIFY THE RGI DATA AND REPORT TO THE ENGINEER WITHIN 14 DAYS OF THE START DATE OF THE PROJECT.
5. CONTRACTOR SHALL VERIFY THE RGI DATA AND REPORT TO THE ENGINEER WITHIN 14 DAYS OF THE START DATE OF THE PROJECT.



UNIVERSAL ENGINEERING, LLC
11000 UNIVERSITY BLVD., SUITE 100
ORANGE COUNTY, FL 32837
TEL: 407.422.2299
WWW.UNIVERSAL-ENGINEERING.COM

Key Map:



Consultant:

NO. 1078600000010001
NO. 25
NO. 01/25/2021
NO. 01/25/2021
NO. 01/25/2021
NO. 01/25/2021
NO. 01/25/2021
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GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 5

Submittal Title
ORANGE COUNTY, FL

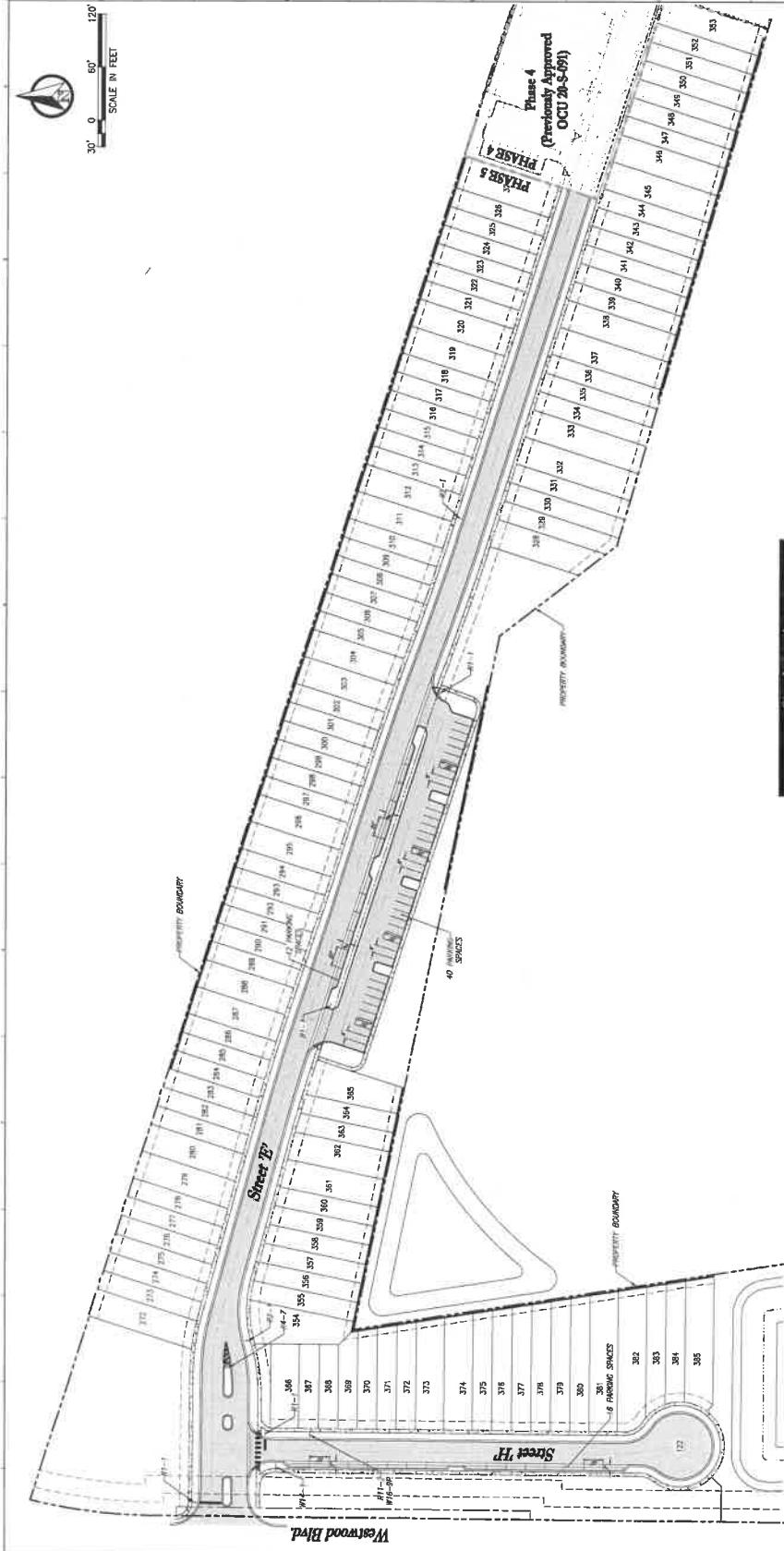
PARKING DESIGNATION AND SIGHT DISTANCE PLAN

Sheet No.: C3.10



Scale: 1" = 40'

FRUITS & BURNETT
Civil Engineers & Planners, LLC
3622 W. Livingston Blvd., Orlando, FL 32809
Tel: 407.942.2922 Fax: 407.942.2927



Sign Legend

Model Number	Dimensions	Width	Height	Symbol	Application
R1-1	30"	30"	30"	STOP	
RE-1	24"	30"	30"	SPEED LIMIT 25	
W11-2	50"	30"	30"	PAVED WHITE DIRS	
W16-1P	24"	12"	30"	PAVED WHITE DIRS	
R4-7	24"	30"	30"	PAVED WHITE DIRS	
W14-1	24"	24"	30"	PAVED WHITE DIRS	

Parking Calculation

Parking Per Lot	Total Required	Spaces Provided
0.5	228	376
0.5	57	65

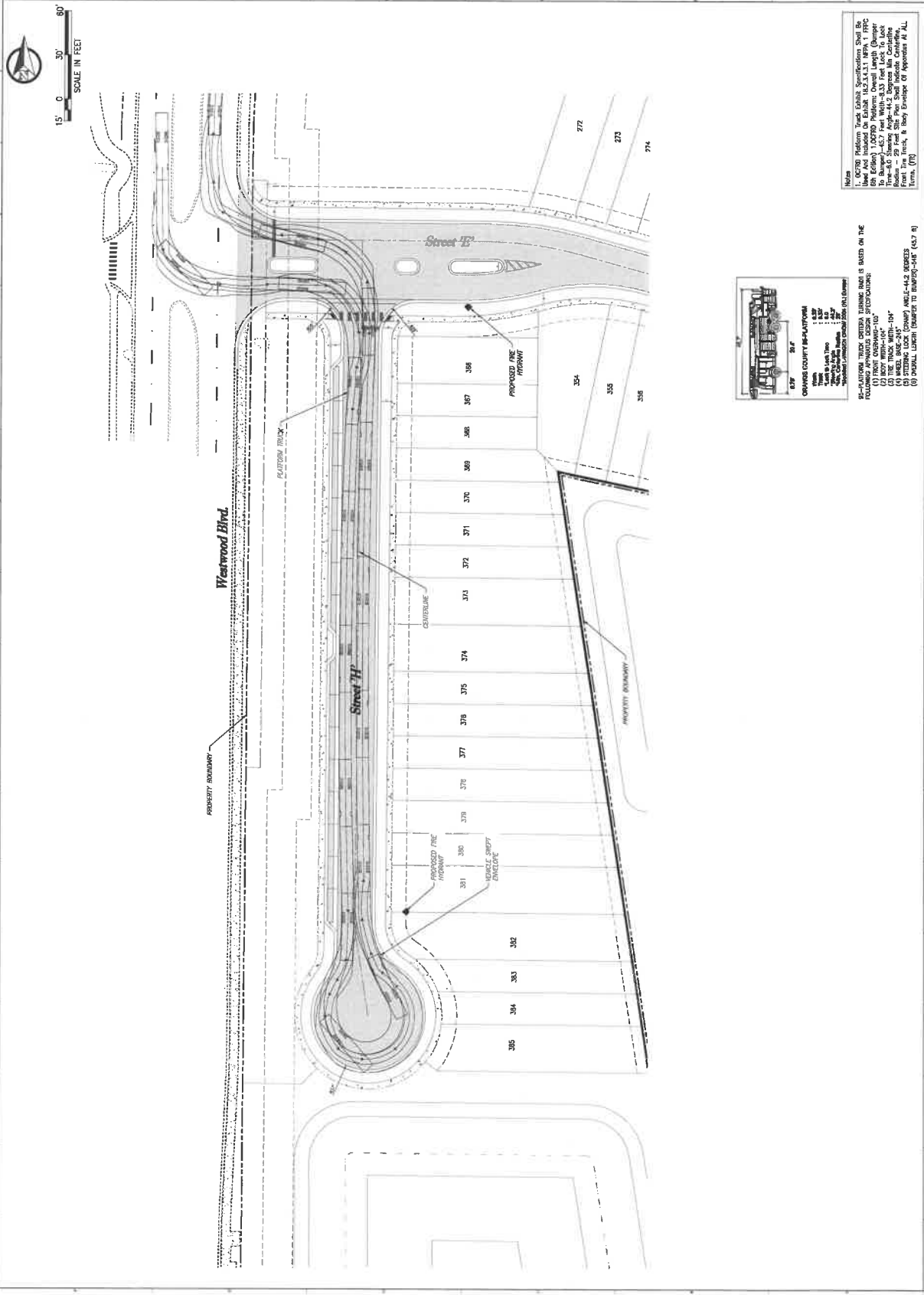
NOTES:

1. ALL LOTS WILL HAVE A MINIMUM DRIVEWAY LENGTH OF 20 FEET AND A MINIMUM WIDTH OF 6 FEET, WHICH WILL PROVIDE FOR THE REQUIRED PARKING PER LOT. (2 OFF-STREET)
2. THE PARKING PER LOT CALCULATION IS BASED ON THE ASSUMPTIONS LISTED ABOVE.
3. WIDER PARKING WIDTH IS 24 FEET OF GREATER, ONE SIDE OF THE STREET MAY BE USED FOR OFF-STREET PARKING.
4. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER NFPA.
5. STREET LIGHT FIXTURES SHALL BE LOCATED ON THE SIDE OF THE STREET ADJACENT TO ALL STREET LIGHT FIXTURES. THE SPACED PARKING SHALL BE LOCATED ON ALL
6. STREET LIGHT FIXTURES SHALL BE LOCATED ON THE SIDE OF THE STREET ADJACENT TO ALL STREET LIGHT FIXTURES. THE SPACED PARKING SHALL BE LOCATED ON ALL
7. SIGHT DISTANCE PER FL DOT DESIGN CHAPTER 16 RESIDENTIAL STREET DESIGN, SIGHT DISTANCE 317 FOR A DESIGN SPEED OF 30 MPH.

27/01/2021 09:27 AM 512476475055 - ORANGE PKGS S77PK56 512476475055 (0007)-749-9598



Continuation



DATE: 11/20/2011

PROJECT: FIRE ACCESS PLAN

PROJECT NUMBER: 11-237

PROJECT NAME: GRANDE PINES ORANGEWOOD N-2 PD PARCEL 1.D PHASE 5

DESIGNED BY: JLM

CHECKED BY: JLM/DAI

DRAWN BY: JLM

DATE: 11/20/2011

SCALE: 1" = 60'

Submitted To: ORANGE COUNTY, FL

Sheet Title: FIRE ACCESS PLAN

Sheet No: C3.20



Professional Engineer

Alan A. Lockwood
12011
11/20/2011

Notes:

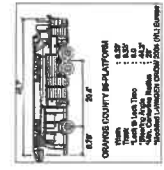
1. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES (1/8" MINIMUM).

3. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.



86-ALATYONA TRUCK CENTER TURNING RADIUS IS BASED ON THE FOLLOWING ASSUMPTIONS:

(1) FRONT OVERHANG-10'

(2) REAR OVERHANG-10'

(3) WHEEL BASE-144"

(4) WHEEL TRACK-54"

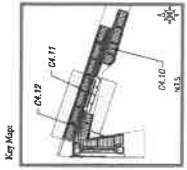
(5) TURNING RADIUS-245'

(6) TURNING RADIUS-245'

(7) TURNING RADIUS-245'

(8) TURNING RADIUS-245'

(9) TURNING RADIUS-245'



Vertical Datum: NAVD83

Scale: 1" = 10'

North Arrow

Project Name: **GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 5**

Submitted To: **ORANGE COUNTY, FL**

Sheet Title: **GRADING PLAN**

Scale: 1" = 10'

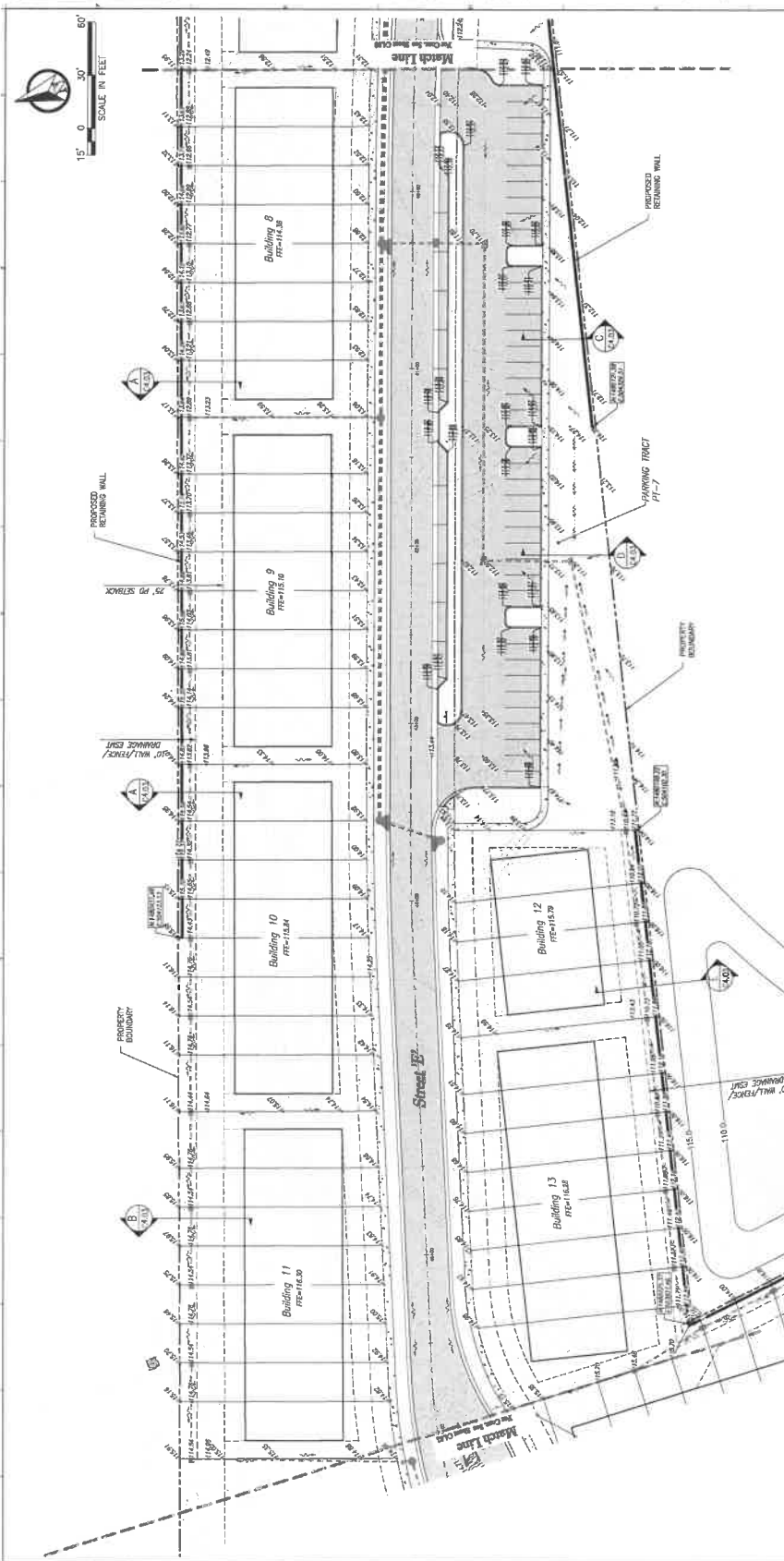
DATE: November 11, 2021

PROJECT NO.: C4.01



Prepared by: **PAULSON & BARNETT**

Paulson & Barnett, LLC
 2002 E. Livingston Ave., Orlando, FL 32809
 Tel: 407.917.0000 Fax: 407.917.0001
 Page No. 16 of 28/27



NOTES:

- ELEVATIONS SHOWN WITHIN EACH HOUSE AND CONTRACTOR TO SET FINISHED GROUND GRADE OF BELOW GRADE ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. CONTRACTOR TO MAINTAIN ALL EXISTING UTILITIES AND TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. CONTRACTOR TO MAINTAIN ALL EXISTING UTILITIES AND TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- THE SIZE AND LOCATION OF THE HOUSE PADS AND DRIVEWAYS SHALL BE AS SHOWN ON THIS PLAN. CONTRACTOR TO MAINTAIN ALL EXISTING UTILITIES AND TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- EXISTING TOPGROUNDS SHOWN ON THIS PLAN CONTRACTOR TO NOTIFY THE OWNER IN WRITING OF ANY DISCREPANCIES BEFORE COMMENCING WORK. CONTRACTOR TO MAINTAIN ALL EXISTING UTILITIES AND TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- THE HOUSE PADS SHOWN ARE TO BE CONSTRUCTED TO BUILD TO THE EXTERIOR FINISH SURFACE OF THE HOUSE. CONTRACTOR TO MAINTAIN ALL EXISTING UTILITIES AND TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- ALL EXPOSED AREAS INCLUDING DRIVEWAYS, PORCHES, PATIOS, AND OTHER AREAS SHALL BE FINISHED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY TO THE STREETS OR TO AN APPROPRIATELY LOCATED OR RETENTION FACILITY PER 458.6.
- THIS MAXIMUM IMPERVIOUS AREA PER LOT IS 70% IMPERVIOUS.

Grading Legend

Symbol	Description
---	EXISTING GROUND
---	PROPOSED FINISH GRADE
---	PROPOSED CHANGELINE/LOW LINE MARK
---	PROPOSED DRIVEWAY/LOW LINE MARK
---	PROPOSED DRIVEWAY
---	DRAINAGE CONFORMANCE SWALE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	SIDEWALK TO BE CONSTRUCTED IN
---	EXISTING SIDEWALK
---	TYPICAL INFRASTRUCTURE
---	STEPA WALL
---	RETAINING WALL
---	10' WALL/RETAINING WALL
---	15' WALL/RETAINING WALL
---	20' WALL/RETAINING WALL
---	25' WALL/RETAINING WALL
---	30' WALL/RETAINING WALL
---	35' WALL/RETAINING WALL
---	40' WALL/RETAINING WALL
---	45' WALL/RETAINING WALL
---	50' WALL/RETAINING WALL
---	55' WALL/RETAINING WALL
---	60' WALL/RETAINING WALL
---	65' WALL/RETAINING WALL
---	70' WALL/RETAINING WALL
---	75' WALL/RETAINING WALL
---	80' WALL/RETAINING WALL
---	85' WALL/RETAINING WALL
---	90' WALL/RETAINING WALL
---	95' WALL/RETAINING WALL
---	100' WALL/RETAINING WALL

Key Map

Consultant:

01 STATE OF FLORIDA COUNTY OF ORANGE
 PROJECT NO. 2021-00000000000000000000
 VERTICAL DATUM NAVD83
 PROJECT NO. 14-007
 EXPIRES 05/31/2024
 DRAWN BY J. J. [unreadable]
 CHECKED BY [unreadable]
 DATE 11/11/2021

Project Name:
**GRANDE PINES
 ORANGEWOOD
 N-2 PD
 PARCEL 11D
 PHASE 5**

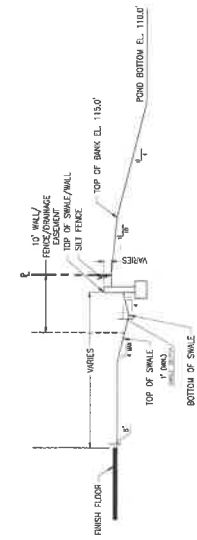
Submitted To:
ORANGE COUNTY, FL
 Sheet Title:
GRADING DETAILS

Sheet No.: **C4-03**

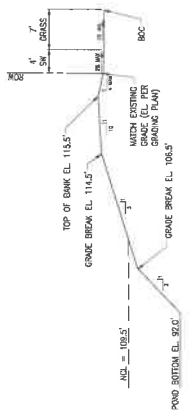
Date: **NOVEMBER 11, 2021**

JAMES A. KIRK
 P.E. No. 12587
 DATE: NOVEMBER 11, 2021

FORT LON & REYNOLDS
 Fort Lauderdale, FL
 4002 E. Palmetto Ave., Suite 100
 Fort Lauderdale, FL 33308
 Tel: 954.347.1111
 Fax: 954.347.1112
 Email: info@fortlon.com

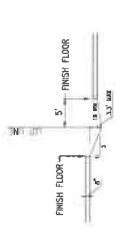


A REAR YARD GRADING SECTION WITH WALL

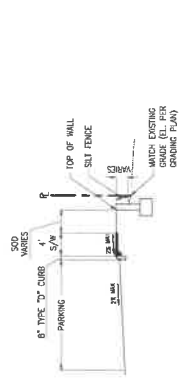


B REAR YARD GRADING SECTION WITH WALL & POND

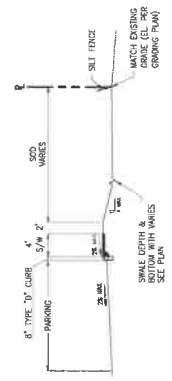
F TYPICAL GRADING SECTION POND 10B



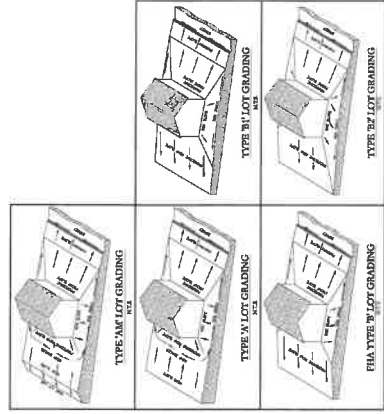
C TYPICAL GRADING SECTION



D TYPICAL GRADING SECTION



E TYPICAL GRADING SECTION



F LOT GRADING TYPES

Key Map:



Utility Legend
Utility Type

STORM MAIN	---
STORM CURB INLETS	⊠
STORM MANHOLES	⊙
UNDERDRAIN LINES	---
SEWER MAINS	---
SEWER MANHOLES	⊙
FOREGROUND	---

1. ALL PROPOSED GRAVITY SEWER SHALL BE 3" UNLESS OTHERWISE SPECIFIED.

PROPOSED CONDUITS

VEGETATION	NAVIGIS
EXISTING PIPE	14407
DIAMETER	DM
DEPTH	DE
APPROXIMATE	AP
SCALE	SC
PERCENT	P

Project Name:
**GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5**

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
DRAINAGE & WASTEWATER PLAN

Sheet No:
C5.00

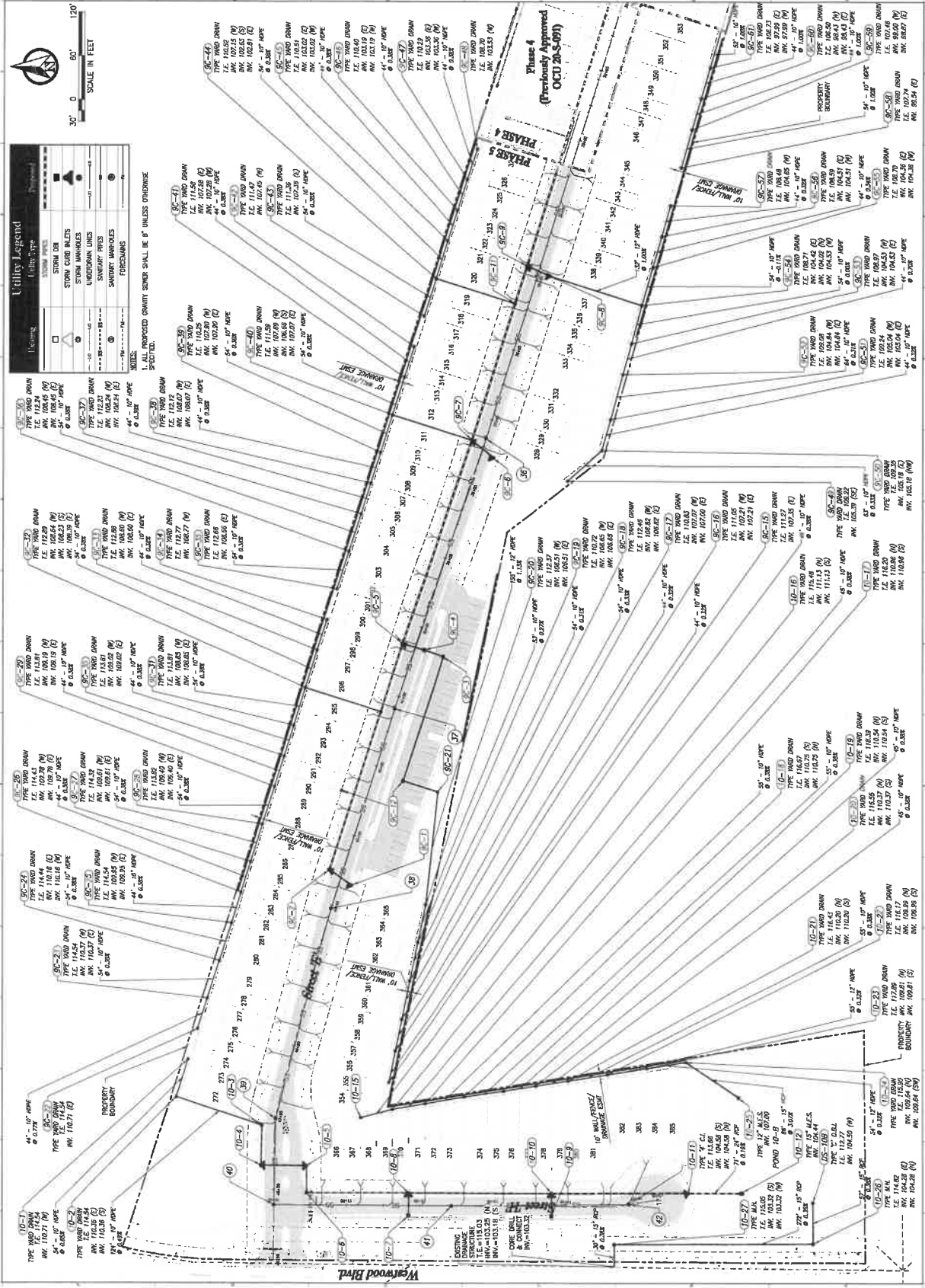
Date:
November 11, 2021



Prepared By:
PHILIP S. BARNETT

Project No.:
PHS&B-2021-0001

Scale:
AS SHOWN



2129151-007 NEW SCALE - CAMEL PMS 5/20/21/10001-10001-10-150

Key Map:

Continued:

NO. 01	OWNER	GRANDE PINES GRANGEWOOD
NO. 02	DATE	08/07/2021
NO. 03	PROJECT	CONTROL STRUCTURE
NO. 04	NO. 05	NO. 06
NO. 07	NO. 08	NO. 09
NO. 10	NO. 11	NO. 12
NO. 13	NO. 14	NO. 15
NO. 16	NO. 17	NO. 18
NO. 19	NO. 20	NO. 21
NO. 22	NO. 23	NO. 24
NO. 25	NO. 26	NO. 27
NO. 28	NO. 29	NO. 30
NO. 31	NO. 32	NO. 33
NO. 34	NO. 35	NO. 36
NO. 37	NO. 38	NO. 39
NO. 40	NO. 41	NO. 42
NO. 43	NO. 44	NO. 45
NO. 46	NO. 47	NO. 48
NO. 49	NO. 50	NO. 51
NO. 52	NO. 53	NO. 54
NO. 55	NO. 56	NO. 57
NO. 58	NO. 59	NO. 60
NO. 61	NO. 62	NO. 63
NO. 64	NO. 65	NO. 66
NO. 67	NO. 68	NO. 69
NO. 70	NO. 71	NO. 72
NO. 73	NO. 74	NO. 75
NO. 76	NO. 77	NO. 78
NO. 79	NO. 80	NO. 81
NO. 82	NO. 83	NO. 84
NO. 85	NO. 86	NO. 87
NO. 88	NO. 89	NO. 90
NO. 91	NO. 92	NO. 93
NO. 94	NO. 95	NO. 96
NO. 97	NO. 98	NO. 99
NO. 100	NO. 101	NO. 102

Project Name:
**GRANDE PINES
 GRANGEWOOD
 N-2 PD
 PARCEL 11D
 PHASE 5**

Submitted To:
 ORANGE COUNTY, FL

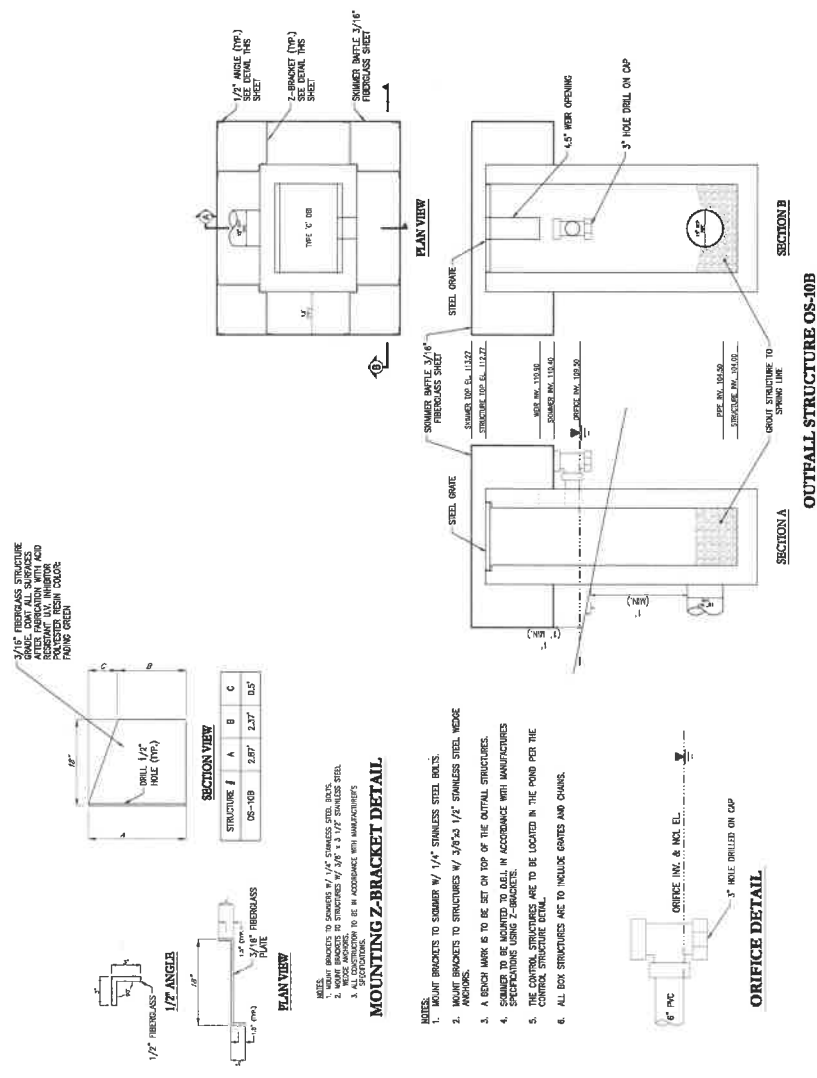
Sheet Title:
**CONTROL
 STRUCTURE DETAIL**

Sheet No.:
C5.01



DATE: November 11, 2021
 DANA ALEX LOCKWOOD
 P.E. NO. 12486
 STATE OF FLORIDA

Forbes & Partners, LLC
 2607 E. Lakeview Dr., Orlando, FL 32809
 Tel: 407-937-1111
 Fax: 407-937-2837



3/16\"/>

SECTION VIEW

STRUCTURE /	A	B	C
OS-10B	2.87'	2.37'	0.5'

- NOTES:**
1. MOUNT BRACKETS TO SOMMER W/ 1/4\"/>
 2. MOUNT BRACKETS TO STRUCTURES W/ 3/8\"/>
 3. A BENCH MARK IS TO BE SET ON TOP OF THE CONTROL STRUCTURES.
 4. SOMMER TO BE MOUNTED TO DOLL IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS USING Z-BRACKETS.
 5. ALL CONTROL STRUCTURES ARE TO BE LOCATED IN THE POND PER THE CONTROL STRUCTURE DETAIL.
 6. ALL BOX STRUCTURES ARE TO INCLUDE GRATES AND CHAINS.

MOUNTING Z-BRACKET DETAIL

ORIFICE DETAIL

OUTFALL STRUCTURE OS-10B

6\"/>

ORIFICE INL. & OUT. D. 1\"/>

1\"/>

STEEL BRACKET TO SOMMER W/ 1/4\"/>

ORIFICE INL. & OUT. D. 1\"/>

1\"/>

STEEL BRACKET TO SOMMER W/ 1/4\"/>

ORIFICE INL. & OUT. D. 1\"/>

1\"/>

STEEL BRACKET TO SOMMER W/ 1/4\"/>

ORIFICE INL. & OUT. D. 1\"/>

1\"/>

STEEL BRACKET TO SOMMER W/ 1/4\"/>

ORIFICE INL. & OUT. D. 1\"/>

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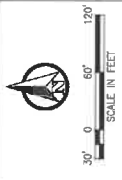
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Key Map:



Conventions:

DATE	NO. DATE	BY	REVISION
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11/15/21	2	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	3	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	4	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	5	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	6	DAVID M. ALLEN	REVISED FOR COMMENTS
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11/15/21	71	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	72	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	73	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	74	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	75	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	76	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	77	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	78	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	79	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	80	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	81	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	82	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	83	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	84	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	85	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	86	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	87	DAVID M. ALLEN	REVISED FOR COMMENTS
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11/15/21	91	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	92	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	93	DAVID M. ALLEN	REVISED FOR COMMENTS
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11/15/21	96	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	97	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	98	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	99	DAVID M. ALLEN	REVISED FOR COMMENTS
11/15/21	100	DAVID M. ALLEN	REVISED FOR COMMENTS

Project Name:
**GRANDE PINES
 ORANGEWOOD
 N-2 PD
 PARCEL 11D
 PHASE 5**

Submitted To:
ORANGE COUNTY, FL

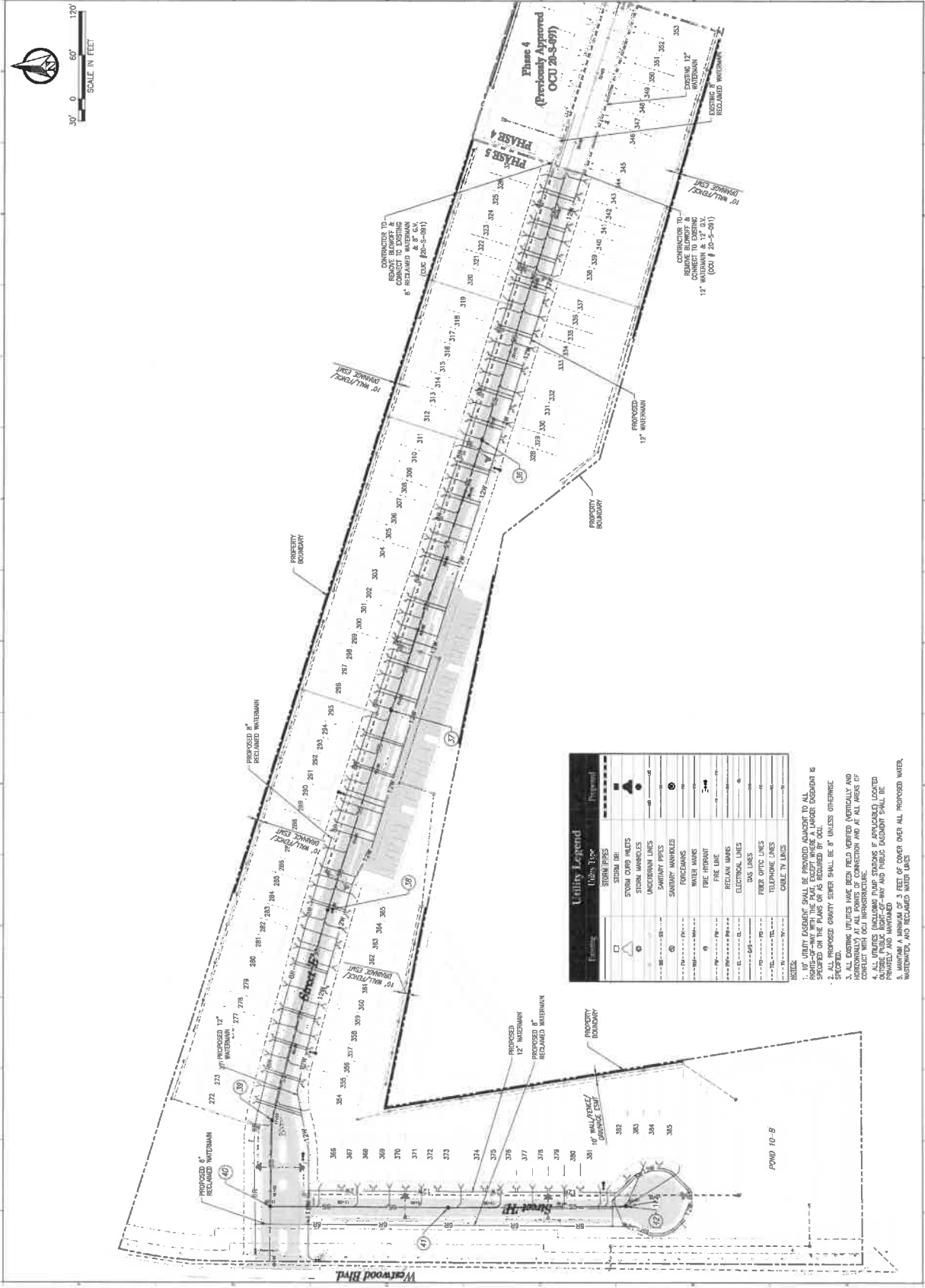
Sheet Title:
UTILITY SITE PLAN

Sheet No.:
C5.10



DATE: November 11, 2021
 DAVID M. ALLEN
 PROFESSIONAL ENGINEER
 LICENSE NO. 12511
 STATE OF FLORIDA

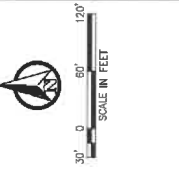
FOOT COUNSEL
 Paulus & Barnett, LLC
 7000 Lake Nona Blvd., Suite 100
 Lake Nona, FL 32157
 P: 407.487.8800
 F: 407.487.8807
 www.paulusandbarnett.com



Utility Type	Symbol	Notes
STORM PIPES	---	
STORM INLETS	⊠	
STORM MANHOLES	⊙	
UNDERGROUND LINES	---	
UTILITY MANHOLES	⊙	
FORCEMAINS	---	
WATER MAINS	---	
FIRE HYDRANT	⊙	
FIRE LINE	---	
RECLAIM LINES	---	
ELECTRICAL LINES	---	
GAS LINES	---	
FIBER OPTIC LINES	---	
TELEPHONE LINES	---	
CABLE TV LINES	---	

- NOTES:
1. IF UTILITY EXISTENCE SHALL BE PROVIDED AMOUNT TO ALL PORTIONS OF THE LOT, EXCEPT WHERE A LARGER EXISTENCE IS SHOWN ON THE PLAN.
 2. ALL PROPOSED UTILITY SIZES SHALL BE AS SPECIFIED UNLESS OTHERWISE SPECIFIED.
 3. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED VERTICALLY AND HORIZONTALLY TO THE DEGREE OF ACCURACY NECESSARY TO AVOID CONFLICT WITH OCCU INFRASTRUCTURE.
 4. ALL UTILITIES (INCLUDING PUMP STATIONS IF APPLICABLE) LOCATED OUTSIDE THE PROPERTY BOUNDARY SHALL BE PROVIDED AND MAINTAINED BY THE APPLICANT.
 5. MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATER LINES.

Key Map



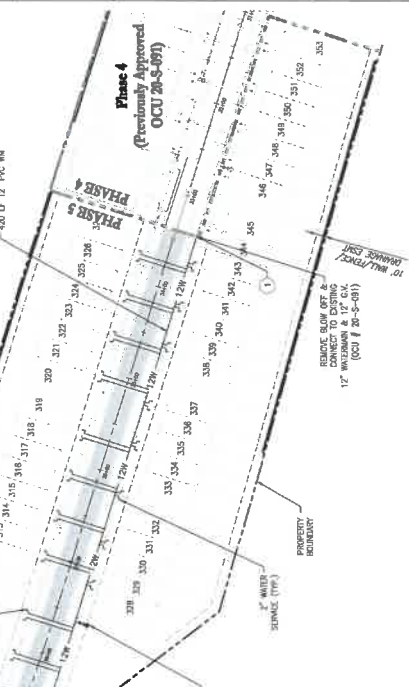
Symbol	Utility Legend	Utility	Proposed
	12" WATER MAIN	12" WATER MAIN	Proposed
	12" GAS	12" GAS	Proposed
	12" FIRE MAIN	12" FIRE MAIN	Proposed
	12" STORM SEWER	12" STORM SEWER	Proposed
	12" SANITARY SEWER	12" SANITARY SEWER	Proposed
	12" ELECTRIC	12" ELECTRIC	Proposed
	12" TELECOMMUNICATIONS	12" TELECOMMUNICATIONS	Proposed
	12" FIBER OPTIC	12" FIBER OPTIC	Proposed
	FIRE HYDRANT ASSEMBLY	FIRE HYDRANT ASSEMBLY	Proposed
	FIRE RISER	FIRE RISER	Proposed
	FIRE ALARM BOX	FIRE ALARM BOX	Proposed
	FIRE ALARM CALL POINT	FIRE ALARM CALL POINT	Proposed
	FIRE ALARM CONTROL PANEL	FIRE ALARM CONTROL PANEL	Proposed

NOTES:
 1. ALL UTILITY LOCATIONS SHALL BE PROPOSED ADJACENT TO ALL IN-PLACE UTILITY PLANS OR AS REQUIRED BY LOCAL CODES. EXCEPT WHERE SHOWN OTHERWISE, UTILITIES SHALL BE LOCATED BETWEEN THE 12" AND 24" MARKS FROM THE CENTERLINE.
 2. THE OFFICE OF THE FIRE MARSHAL, RECOMMENDS STREETS AS REQUIRED FREE SHEET (SEE LOCAL CODES).
 3. THE OFFICE OF THE FIRE MARSHAL, RECOMMENDS STREETS AS REQUIRED FREE SHEET (SEE LOCAL CODES).
 4. THE NEEDED FIRE FLOW (MFD) IS 2,000 GPM FOR TOWNHOMES UNITS.
 5. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE DESIGN AND CALCULATION OF THE FIRE FLOW IS ACCORDING TO THE 2010 FLORIDA FIRE MARSHAL'S HANDBOOK (2010 EDITION) WITH FLORIDA AMENDMENTS.
 6. ANY COMMERCIAL STRUCTURE OR RESIDENTIAL BUILDING OF THREE OR MORE UNITS SHALL BE PROTECTED WITH AUTOMATIC FIRE ALARM SYSTEMS.
 7. ALL UTILITY LOCATIONS SHALL BE PROTECTED WITH AUTOMATIC FIRE ALARM SYSTEMS.
 8. ALL UTILITY LOCATIONS SHALL BE PROTECTED WITH AUTOMATIC FIRE ALARM SYSTEMS.
 9. ALL UTILITY LOCATIONS SHALL BE PROTECTED WITH AUTOMATIC FIRE ALARM SYSTEMS.
 10. ALL UTILITY LOCATIONS SHALL BE PROTECTED WITH AUTOMATIC FIRE ALARM SYSTEMS.
 11. ALL UTILITY LOCATIONS SHALL BE PROTECTED WITH AUTOMATIC FIRE ALARM SYSTEMS.
 12. MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATER LINES.

13D UNITS
 FIRE PROTECTION AND DOMESTIC WATER LATERAL DETAIL



FIRE PROTECTION AND DOMESTIC WATER LATERAL DETAIL



PHASE 1
 PHASE 2
 PHASE 3
 PHASE 4 (Previously Approved OCU 20-8-071)

DATE: 11/11/2021	DATE: 11/11/2021
DESIGNER: J. L. LOUGHEED	DATE: 11/11/2021
PROJECT: GRAND PINE	DATE: 11/11/2021
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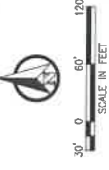
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Key Map:

Utility Legend		Proposed
1/8" = 1' Scale		
RECLAIM MAINS (10")	---	---
SERVICE LINE	---	---
GATE VALVE (G.V.)	+	+
TEE	+	+
BONDS	+	+
REDUCER	+	+

- NOTES:**
1. RECLAIM MAINS SHALL BE LOCATED WITHIN THE 10 FT UTILITY EASEMENT ADJACENT TO THE ROW.
 2. SERVICE LINES SHALL BE LOCATED WITHIN THE 10 FT UTILITY EASEMENT ADJACENT TO THE ROW.
 3. SEE IRRIGATION PLANS FOR FLOW CALCULATIONS SUPPORTING WATER REQUIREMENTS.
 4. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE (SEE MANUAL SECTION 2111.2.03.0) AND ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION AND PUBLIC OCCUPANCY. LOCATIONS OF UTILITIES SHALL BE INDICATED BY SYMBOLS AND LINES AND SHALL BE PRIVATELY AND MAINTAINED.
 5. MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER, SANITARY AND GAS LINES.
 6. REFER TO LANDSCAPING AND IRRIGATION PLAN SHEET C02 FOR DETAILS.



PROJECT INFORMATION	
PROJECT NO.	NAVD 88
DESIGNED BY	DM
CHECKED BY	SA/DM
DATE	01/11/2021
SCALE	AS SHOWN
DATE	01/11/2021
BY	DM
CHECKED BY	SA/DM
DATE	01/11/2021

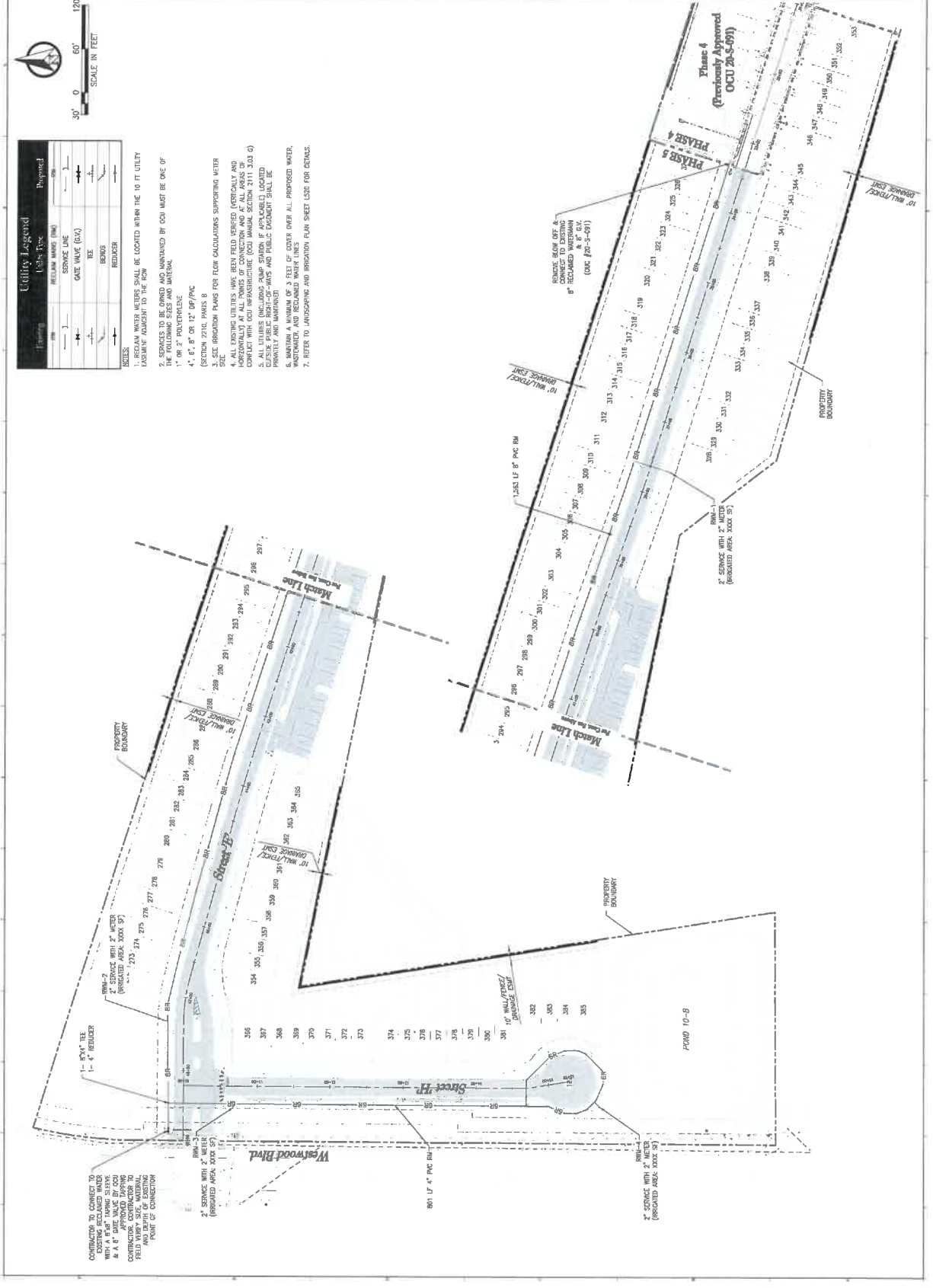
**GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5**

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
**RECLAIM WATER
DISTRIBUTION PLAN**

Sheet No.: **C5.30**

Prepared By:
POWELL & BARNETT, LLC
2002 E. Longwood Blvd., Orlando, FL 32803
Tel: 407.838.8888
Fax: 407.838.8888



STATE OF FLORIDA
COUNTY OF ORANGE
PLANNING DEPARTMENT
GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL #1D
PHASE 5

Subject To:
ORANGE COUNTY, FL
Sheet Title:
UTILITY ASSET
TABLES



NOTES: THIS TABLE IS A SUMMARY OF THE INFORMATION PROVIDED BY THE APPLICANT AND IS NOT A SUBSTITUTE FOR THE UTILITY ASSET RECORD DRAWINGS.

PROFESSIONAL ENGINEER
James Alex Lockwood
Florida & Business, LLC
200 S. Livingston, Orlando, FL 32806
Tel: 407.939.8100 Fax: 407.939.8101
Eng. Reg. No. 1287

Utility Statements
ID Number Plan Sheet ID Drawing Description Revisions Comments

ID Number	Plan Sheet ID	Drawing Description	Revisions	Comments

Utility Tables
ID Number Plan Sheet ID Drawing Description Revisions Comments

ID Number	Plan Sheet ID	Drawing Description	Revisions	Comments

Utility Tables
ID Number Plan Sheet ID Drawing Description Revisions Comments

ID Number	Plan Sheet ID	Drawing Description	Revisions	Comments

Utility Tables
ID Number Plan Sheet ID Drawing Description Revisions Comments

ID Number	Plan Sheet ID	Drawing Description	Revisions	Comments

Utility Tables
ID Number Plan Sheet ID Drawing Description Revisions Comments

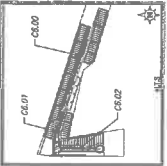
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Utility Tables
ID Number Plan Sheet ID Drawing Description Revisions Comments

ID Number	Plan Sheet ID	Drawing Description	Revisions	Comments

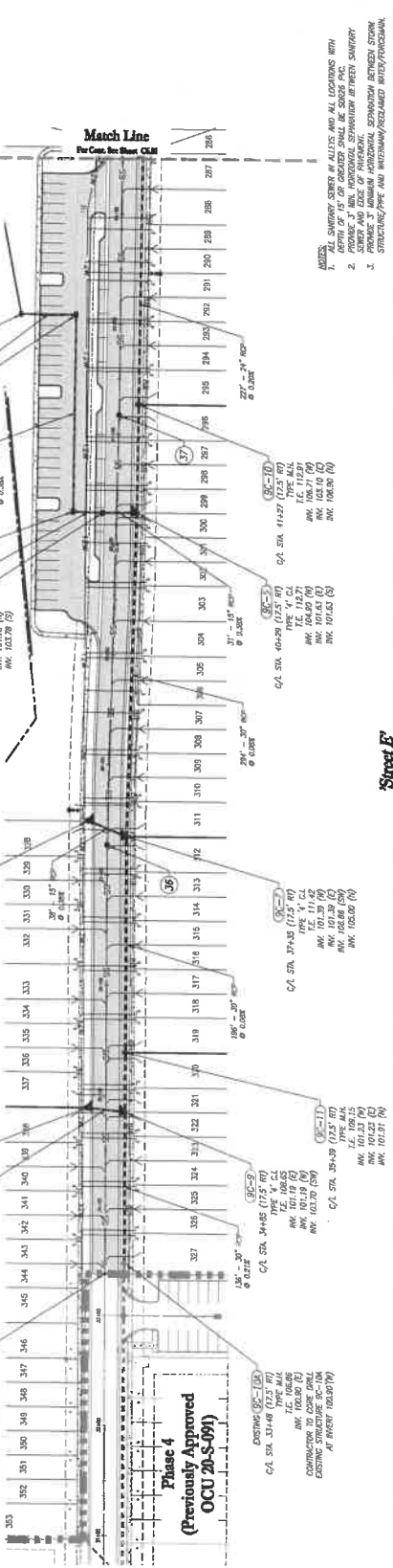
NOTE: THIS TABLE SHALL BE COMPLETED IN ACCORDANCE WITH OCU STANDARDS AND SPECIFICATIONS MANUAL AND SHALL BE CERTIFICATED BY COMPLETE.

Key Map:



Comments:

BEGIN ROADWAY CONSTRUCTION
STA. 33+37.78 ST. 'E'
SHOW OUT EDGE AND MATCH
EXISTING PAVEMENT



Phase 4
(Previously Approved
OCU 20-S-094)
AT RIVERY 10030(P)

- NOTES:
1. ALL SANITARY SEWER AND ALL LOCATIONS WITH
PROPOSED SANITARY SEWER SHALL BE 36" DIA.
2. PROPOSED 4" GAS SERVICE SHALL BE 30" DIA.
3. STRUTTING TYPE AND MIDWAY/RESERVED WIDTH/FORDWALK

DATE	BY	REVISIONS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS
11/15/2017	NAV/BS	ISSUED FOR PERMITS

Project Name:
**GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5**

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
PLAN & PROFILES

Sheet No.:
C6.00

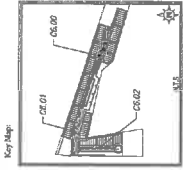


FOOTNOTES & REFERENCES
 Prepared by: **Parsons & Barnett, LLC**
 2007 E. Livingston St., Orlando, FL 32809
 Tel: 407-977-9999
 Fax: 407-977-9999
 Email: info@parsons-barnett.com

Street E'



Station	Elevation	Grade (%)	Notes
33+00	106.5		
33+10	106.8		
33+20	107.2		
33+30	107.5		
33+40	107.8		
33+50	108.0		
34+00	108.5		
34+10	109.0		
34+20	109.5		
34+30	110.0		
34+40	110.5		
34+50	111.0		
35+00	111.5		
35+10	112.0		
35+20	112.5		
35+30	113.0		
35+40	113.5		
35+50	114.0		
36+00	114.5		
36+10	115.0		
36+20	115.5		
36+30	116.0		
36+40	116.5		
36+50	117.0		
37+00	117.5		
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37+30	119.0		
37+40	119.5		
37+50	120.0		
38+00	120.5		
38+10	121.0		
38+20	121.5		
38+30	122.0		
38+40	122.5		
38+50	123.0		
39+00	123.5		
39+10	124.0		
39+20	124.5		
39+30	125.0		
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39+50	126.0		
40+00	126.5		
40+10	127.0		
40+20	127.5		
40+30	128.0		
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40+50	129.0		
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41+10	130.0		
41+20	130.5		
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41+50	132.0		
42+00	132.5		
42+10	133.0		
42+20	133.5		
42+30	134.0		
42+40	134.5		
42+50	135.0		
43+00	135.5		
43+10	136.0		
43+20	136.5		
43+30	137.0		
43+40	137.5		
43+50	138.0		



Key Map:

Consultant:

PROJECT NO.	2024-001
DATE	11/20/24
PROJECT NAME	GRANDE PINES ORANGEWOOD
PARCEL ID	N-2-PD
PHASE	PHASE 5
DESIGNED BY	DAVID A. LOCKWOOD
CHECKED BY	DAVID A. LOCKWOOD
DATE	11/20/24
SCALE	AS SHOWN
PROJECT LOCATION	ORANGE COUNTY, FL
PROJECT NO.	C6.01

GRANDE PINES ORANGEWOOD
N-2-PD
PARCEL ID
PHASE 5

Submitted To:
ORANGE COUNTY, FL

PLAN & PROFILES

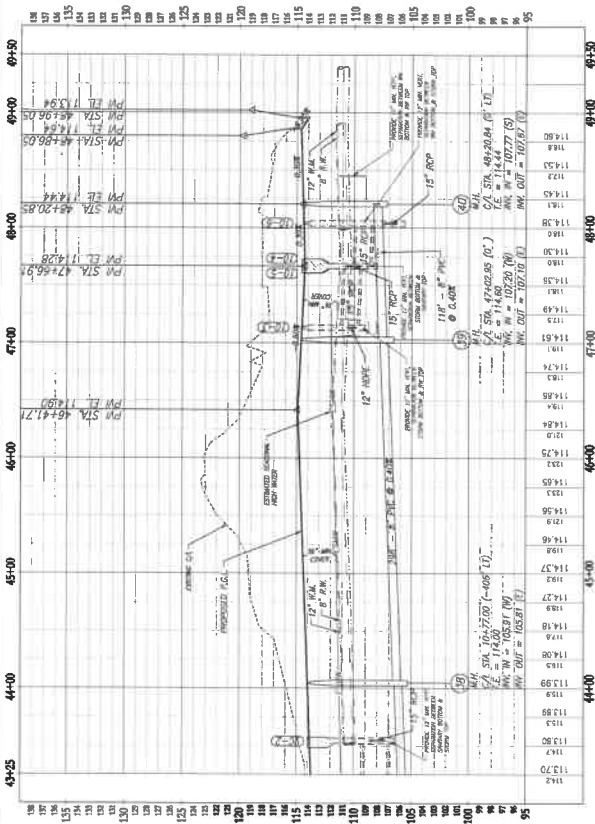
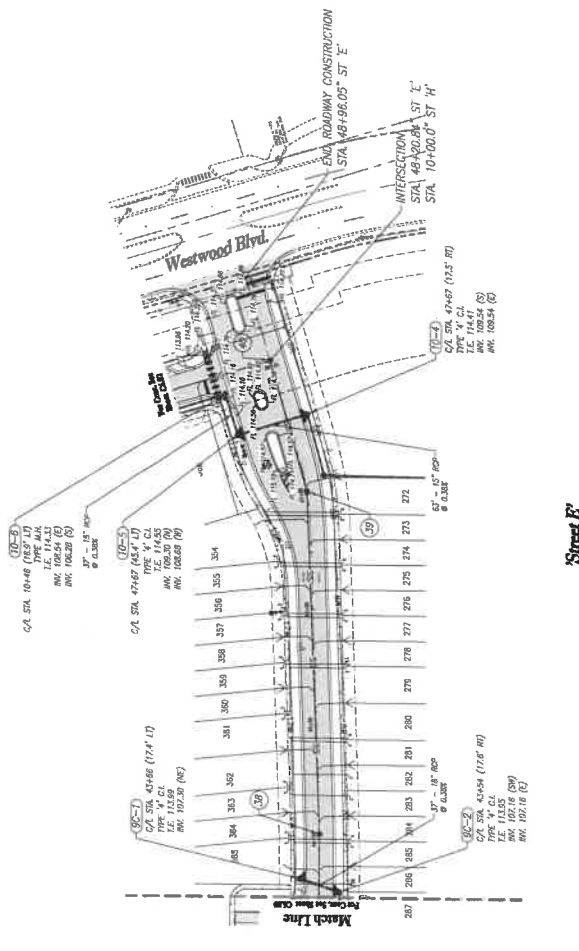
Sheet No.:
C6.01



DAVID A. LOCKWOOD
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12077
 EXPIRES 11/20/27



1. ALL SURVEY CORNER MARKERS AND ALL LOCATIONS WITH BOUNDS OF 15' OR GREATER SHALL BE GRADE P.C.
2. PROVIDE 3" MINIMUM HORIZONTAL SEPARATION BETWEEN SWIMWAY STRUCTURES/PIPE AND INTERCOM/RECLAIMED INTERSECTIONS.
3. PROVIDE 3" MINIMUM HORIZONTAL SEPARATION BETWEEN SWIMWAY STRUCTURES/PIPE AND INTERCOM/RECLAIMED INTERSECTIONS.



Key Map:



Contributor:

NO.	DATE	DESCRIPTION	BY
1	10/24/17	ISSUED FOR PERMITS	MM
2	11/02/17	REVISIONS	MM
3	11/02/17	REVISIONS	MM
4	11/02/17	REVISIONS	MM
5	11/02/17	REVISIONS	MM
6	11/02/17	REVISIONS	MM
7	11/02/17	REVISIONS	MM
8	11/02/17	REVISIONS	MM
9	11/02/17	REVISIONS	MM
10	11/02/17	REVISIONS	MM

**GRANDE PINES
N-2 PD
PARCEL 11D
PHASE 5**

Submitted To:
ORANGE COUNTY, FL

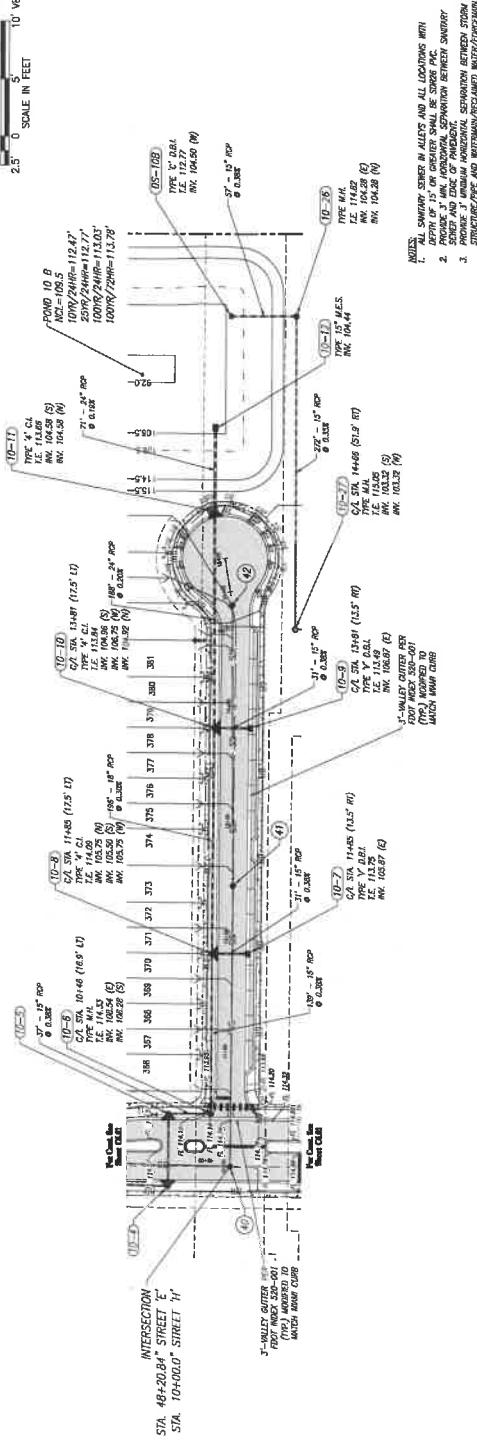
Sheet Title:
PLAN & PROFILES

Sheet No.:
C6.02

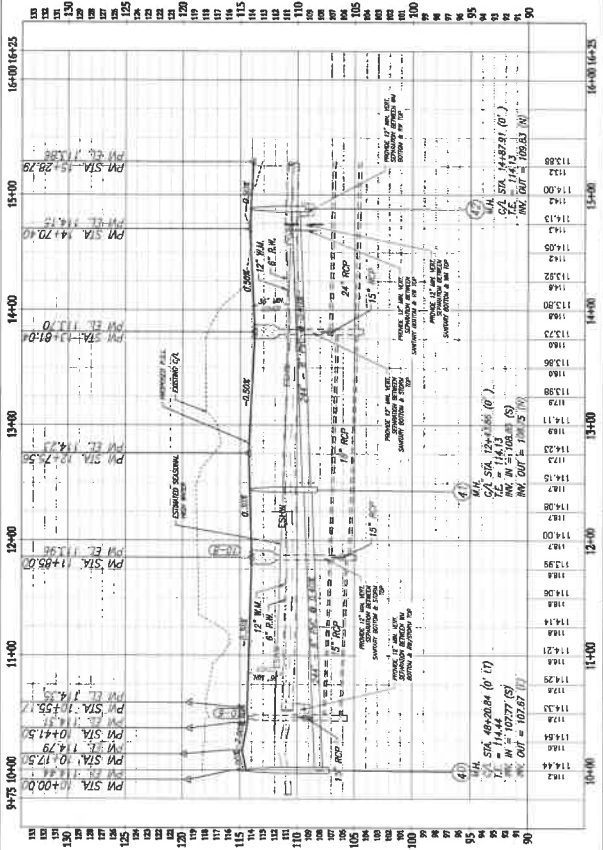


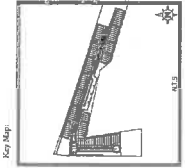
DAVID A. LOCKWOOD
No. 12571
STATE OF FLORIDA
LICENSE NO. 12571

Professional Engineer
2002 E. Livingston E., Ocala, FL 32668
Tel: 407.882.8888
Fax: 407.882.8888



Street H





North Arrow and scale indicator.

Comments: ALL S.

NO. 10	TO COUNTY SPEED
NO. 20	TO COUNTY SPEED
NO. 30	TO COUNTY SPEED
NO. 40	TO COUNTY SPEED
NO. 50	TO COUNTY SPEED
NO. 60	TO COUNTY SPEED
NO. 70	TO COUNTY SPEED
NO. 80	TO COUNTY SPEED
NO. 90	TO COUNTY SPEED
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NO. 110	TO COUNTY SPEED
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NO. 130	TO COUNTY SPEED
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NO. 150	TO COUNTY SPEED
NO. 160	TO COUNTY SPEED
NO. 170	TO COUNTY SPEED
NO. 180	TO COUNTY SPEED
NO. 190	TO COUNTY SPEED
NO. 200	TO COUNTY SPEED

Project Name:
**GRANDE PINES
 ORANGEWOOD
 N-2 PD
 PARCEL 11D
 PHASE 5**

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
**GENERAL
 CONSTRUCTION
 DETAILS**

Sheet No.:
C7.00



DATE: November 11, 2011

DRAWN BY: ALC/KSW

CHECKED BY: ALC/KSW

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 800 S. Longwood, Ocala, FL 32060
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ORANGE COUNTY UTILITIES
 GENERAL CONSTRUCTION SPECIFICATIONS MANUAL
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**GENERAL
 FIGURE A10-1
 WATER AND RECLAIMED WATER MAINS**

MINIMUM LENGTH (FT) TO RESTRAINED ON EACH SIDE OF FITTING

TYPE	PIPE SIZE	FOR
90° BEND	4" - 6"	10'
	8"	12'
	10"	14'
	12"	16'
45° BEND	4" - 6"	15'
	8"	18'
	10"	21'
	12"	24'
T-JUNCTION	4" - 6"	11'
	8"	13'
	10"	15'
	12"	17'
FLANGES OR BRANCH OFF THE MAIN	4"	6'
	6"	8'
	8"	9'
	10"	12'
VALVE	27"	48'
	30"	54'
	36"	63'
	42"	81'
REDUCER	24"	42'
	30"	51'
	36"	63'

- NOTES:
- RESTRAINT SHALL BE PROVIDED WITH THE RESTRAINER BUCKETS.
 - RESTRAINT SHALL BE PROVIDED WITH TOTAL LENGTH EQUAL TO RESTRAINER LENGTH PLUS FITTING LENGTH.
 - RESTRAINT SHALL BE PROVIDED WITH TOTAL LENGTH EQUAL TO RESTRAINER LENGTH PLUS FITTING LENGTH.
 - WHERE INTERNAL RESTRAINT JOINTS ARE USED, THE ENTIRE BELL SHALL BE RESTRAINED.
 - RESTRAINT SHALL BE PROVIDED WITH TOTAL LENGTH EQUAL TO RESTRAINER LENGTH PLUS FITTING LENGTH.
 - RESTRAINT SHALL BE PROVIDED WITH TOTAL LENGTH EQUAL TO RESTRAINER LENGTH PLUS FITTING LENGTH.
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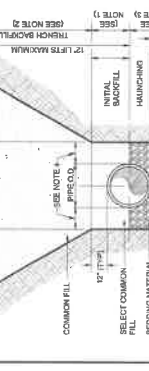
**GENERAL
 FIGURE A10-2
 BEDDING AND TRENCHING - TYPE B**



- NOTES:
- INITIAL BACKFILL AND HAUNCHING SELECT COMMON FILL COMPACTED TO 98% FOR 16" OR 18" OF THE MAXIMUM PENETRATION AS PER ASSOCIATED TABLE.
 - INITIAL BACKFILL AND HAUNCHING SELECT COMMON FILL COMPACTED TO 98% FOR 16" OR 18" OF THE MAXIMUM PENETRATION AS PER ASSOCIATED TABLE.
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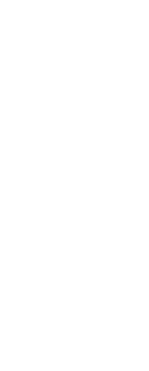
**GENERAL
 FIGURE A10-3
 BEDDING AND TRENCHING - TYPE A**



- NOTES:
- INITIAL BACKFILL AND HAUNCHING SELECT COMMON FILL COMPACTED TO 98% FOR 16" OR 18" OF THE MAXIMUM PENETRATION AS PER ASSOCIATED TABLE.
 - INITIAL BACKFILL AND HAUNCHING SELECT COMMON FILL COMPACTED TO 98% FOR 16" OR 18" OF THE MAXIMUM PENETRATION AS PER ASSOCIATED TABLE.
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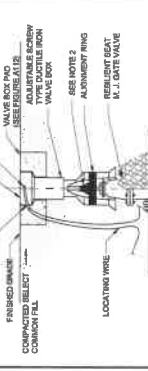
**GENERAL
 FIGURE A10-4
 THREAT COLLAR (FOR 6" PIPE)**



- NOTES:
- PIPE AND COLLAR SHALL BE INSTALLED WITH BELLS END UP TO THE DIRECTION OF THE FLOW.
 - PIPE AND COLLAR SHALL BE INSTALLED WITH BELLS END UP TO THE DIRECTION OF THE FLOW.
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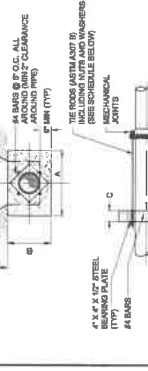
**GENERAL
 FIGURE A10-5
 WATER AND RECLAIMED WATER MAINS**



- NOTES:
- PVC OR BULKHEAD IRON PIPE EXTENSION SHALL NOT BE USED ON VALVE BOX.
 - THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN OF FINISHED GRADE.
 - VALVE ACTUATING NUT, THIS SHALL BE FULLY CENTERED THE RISER PIPE EXPOSED TO THE SURFACE.
 - LOCKWASHER SHALL BE CENTERED WITH NO SPACES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR. WIRE SHALL BE COLORED TO MATCH THE UTILITY INSTALLER. ALLOW FOR FUTURE PIPE ADJUSTMENTS.
 - ROPER TO INSURE FIT FOR INSTALLATION AS A COPY OF 8 OR 12 INCHER.

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**GENERAL
 FIGURE A10-6
 TRENCH COLLAR (FOR 6" PIPE)**



- NOTES:
- PIPE AND COLLAR SHALL BE INSTALLED WITH BELLS END UP TO THE DIRECTION OF THE FLOW.
 - PIPE AND COLLAR SHALL BE INSTALLED WITH BELLS END UP TO THE DIRECTION OF THE FLOW.
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 - PIPE AND COLLAR SHALL BE INSTALLED WITH BELLS END UP TO THE DIRECTION OF THE FLOW.
 - PIPE AND COLLAR SHALL BE INSTALLED WITH BELLS END UP TO THE DIRECTION OF THE FLOW.



Key Map:
Coordinate:

BY DATE	
DESIGNED BY:	DATE:
CHECKED BY:	DATE:
APPROVED BY:	DATE:
SCALE:	
SHEET NO.:	

GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5

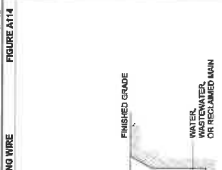
Submitted To: **ORANGE COUNTY, FL**
Sheet Title: **GENERAL CONSTRUCTION DETAILS**
Sheet No: **C7.01**

DATE: NOVEMBER 11, 2021
DRAWN BY: M. JACOBO
CHECKED BY: J. PEREZ
APPROVED BY: [Signature]



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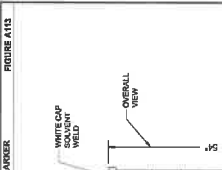
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GENERAL
FIGURE A114
PPE LOCATING WIRE

NOTES:
1. ALL PIPE SHALL REQUIRE IN-PLANT TO LOCATING WIRE TO CHARGE SOLID COPPER CAPABLE OF BEING LOCATED BY THE USE OF A CONDUCTIVE LOCATING DEVICE.
2. PIPE LOCATING WIRE SHALL BE LOCATED WITH 1/2" INSULATION TO TOP CENTERLINE OF THE PIPE.
3. WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

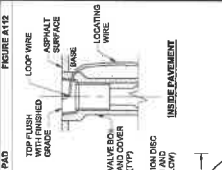
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GENERAL
FIGURE A113
UTILITY MAN MARKER

NOTES:
1. MARKERS ARE REQUIRED UNDER 12" MAIN IS LOCATED OVER 30 FEET FROM EDGE OF PAVEMENT OR IN AN EASEMENT NOT ADJACENT TO THE RIGHT OF WAY.
2. WATER MAINS AND POTABLE WATER MAINS SHALL BE GREEN FOR IDENTIFICATION.
3. MARKERS SHALL BE PLACED AT ALL DIRECTIONAL CHANGES AND AT ALL VALVES EXCEPT CROSSINGS.
4. MARKERS SHALL BE PLACED AT ALL DIRECTIONAL CHANGES AND AT ALL VALVES EXCEPT CROSSINGS. THE DISTANCE BETWEEN MARKERS DOES NOT EXCEED 100 FEET.

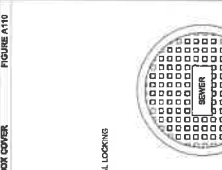
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GENERAL
FIGURE A112
VALVE BOX PAD

NOTES:
1. BRONZE OR STAINLESS STEEL IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL DISCS TO BE HANGING IN THE BOX AND FOR ALL DISCS TO BE HANGING IN THE BOX. DISCS SHALL BE IDENTIFICATION DISCS TO BE HANGING IN THE BOX.
2. IDENTIFICATION DISCS SHALL BE IDENTIFICATION DISCS TO BE HANGING IN THE BOX.
3. IDENTIFICATION DISCS SHALL BE IDENTIFICATION DISCS TO BE HANGING IN THE BOX.

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GENERAL
FIGURE A110
TYPICAL VALVE BOX COVER

NOTE:
1. LOCKING WIRE ARE REQUIRED ON ALL VALVE BOXES.

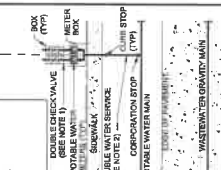
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GENERAL
FIGURE A115
SINGLE FAMILY RESIDENTIAL C/S-R-3/3-2C UTILITY PLAN

NOTE:
1. ALL WATER MAINS AND SEWER MAINS SHALL BE INSTALLED AS SHOWN ON THIS PLAN. ALL SERVICE LATERALS SHALL BE INSTALLED AS SHOWN ON THIS PLAN.
2. ALL SERVICE LATERALS SHALL BE INSTALLED AS SHOWN ON THIS PLAN.
3. ALL SERVICE LATERALS SHALL BE INSTALLED AS SHOWN ON THIS PLAN.

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GENERAL
FIGURE A118
RESIDENTIAL SERVICE LOCATIONS (TYPICAL)

NOTE:
1. EACH POTABLE WATER SERVICE WILL SERVE TWO LOTS IF RECLAIMED WATER IS AVAILABLE.
2. EACH POTABLE WATER SERVICE WILL SERVE ONE LOT IF RECLAIMED WATER IS AVAILABLE.
3. POTABLE WATER SERVICES SHALL BE INSTALLED AS SHOWN ON THIS PLAN.
4. SEWER SERVICES SHALL BE INSTALLED AS SHOWN ON THIS PLAN.
5. WATER MAINS SHALL BE INSTALLED AS SHOWN ON THIS PLAN.

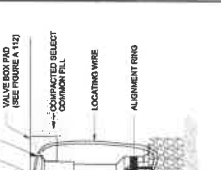
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PROPOSED UTILITY	POTABLE WATER	RECLAIMED WATER	WASTE WATER	STORM SEWER	STORM WATER
MINIMUM SEPARATION	12"	12"	12"	12"	12"
MINIMUM SEPARATION	12"	12"	12"	12"	12"
MINIMUM SEPARATION	12"	12"	12"	12"	12"

GENERAL
FIGURE A119
SEPARATION REQUIREMENTS FOR WATER, WASTEWATER AND RECLAIMED WATER MAINS

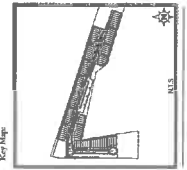
NOTE:
1. THE SEPARATION REQUIREMENTS TO BE MAINTAINED FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES AND TWO FEET FOR TRENCHES.
2. THE SEPARATION REQUIREMENTS TO BE MAINTAINED FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES AND TWO FEET FOR TRENCHES.
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GENERAL
FIGURE A109
PLUG VALVE AND BOX WASTEWATER

NOTE:
1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX.
2. ALL VALVE BOXES SHALL BE EXTENDED TO BE WITHIN 2' OF FINISHED GRADE.
3. PROVIDE A PLASTIC DERRIS SHIELD/ALUMINUM RING WHICH FALLS BELOW THE ACTUATING RING AND MEMBER EXTENSION.
4. TOP OF COLLAR, WIRE SHALL BE COLOR CODED TO MATCH THE UTIL IDENTIFICATION.
5. ALL WASTE WATER MAINS SHALL BE INSTALLED AS SHOWN ON THIS PLAN.
6. REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.



Key Map

Consultant:

B. OWNER	ORANGE COUNTY, FLORIDA
C. PROJECT	GRAND PINES
D. PROJECT ADDRESS	GRANGEWOOD
E. PROJECT LOCATION	N-2 PD
F. PROJECT NUMBER	PARCEL 11D
G. PROJECT PHASE	PHASE 5
H. PROJECT DATE	
I. PROJECT DRAWN BY	
J. PROJECT CHECKED BY	
K. PROJECT DATE	
L. PROJECT SCALE	
M. PROJECT SHEET NO.	
N. PROJECT SHEETS	
O. PROJECT TOTAL SHEETS	

GRANDE PINES
GRANGEWOOD
N-2 PD
PARCEL 11D
PHASE 5

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
GENERAL CONSTRUCTION DETAILS

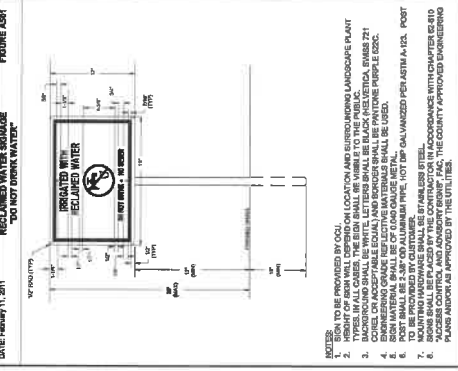
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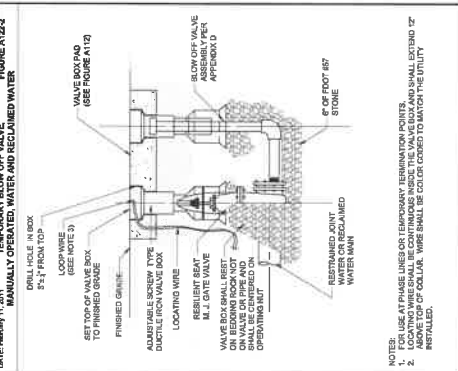
Date:
February 11, 2021

Paul J. Bennett, LLC
262 S. Pineapple St., Ocala, FL 32668
352.477.8888
pjbennett@pjbennett.com
Reg. No. 12281

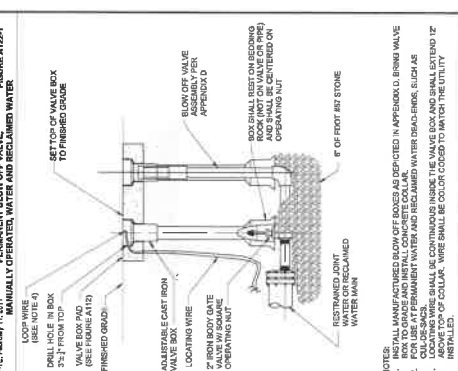
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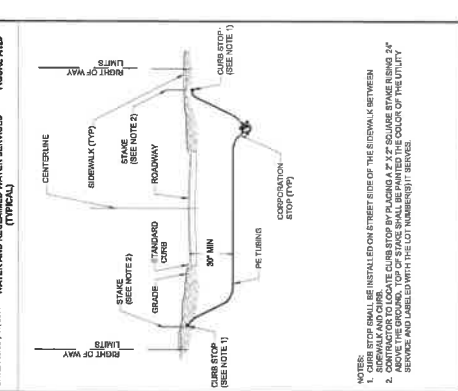
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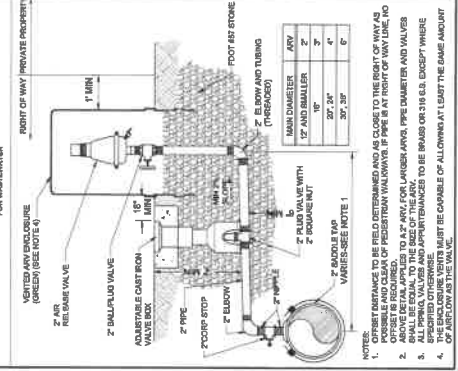
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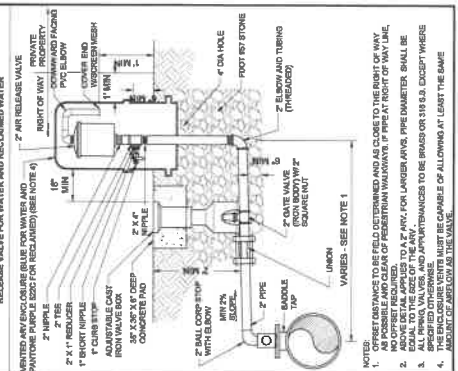
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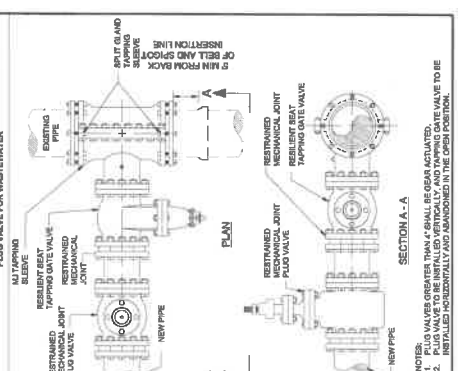
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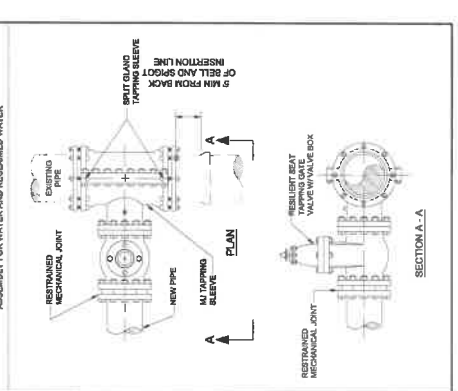
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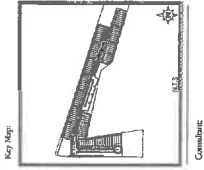


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ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL APPENDIX A WATER AND RECLAIMED WATER SERVICES DATE: February 11, 2021





Key Map:

Consulting:

PROJECT NO.	2021-001
DATE	11/11/2021
PROJECT NAME	GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 5
CLIENT	ORANGE COUNTY, FL
DESIGNER	FRANKLIN & BARNETT, LLC
CHECKED BY	[Signature]
DATE	11/11/2021
SCALE	AS SHOWN
PROJECT LOCATION	ORANGE COUNTY, FL
PROJECT TYPE	STANDARD WATER DETAILS

Submitted To:
ORANGE COUNTY, FL

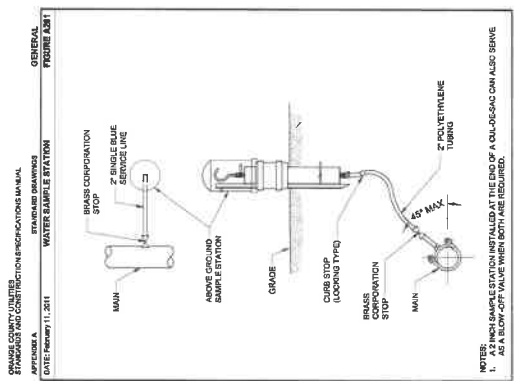
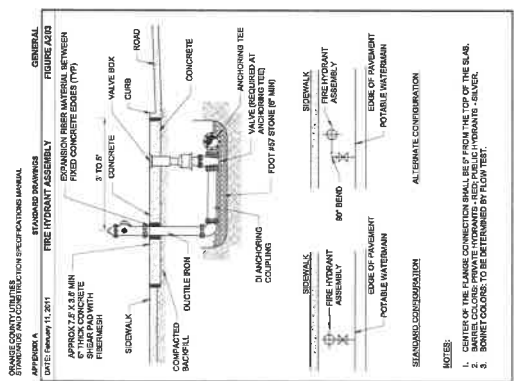
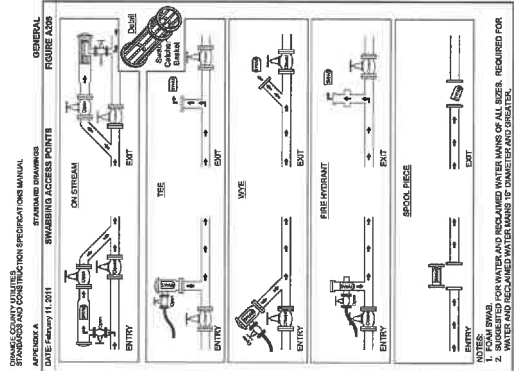
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STANDARD WATER
DETAILS

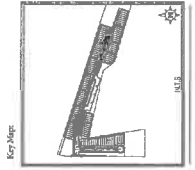
Sheet No.:
C7.10



DATE: November 11, 2021
DRAWN BY: ALAN LOCKWOOD
P.L. NO. 003304

FRANKLIN & BARNETT, LLC
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Key Map

Consolidated

DATE: 11/11/2011	PROJECT: STANDARD MANHOLE FRAME AND COVER
DATE: 11/11/2011	PROJECT: MANHOLE IN GRASS AREA
DATE: 11/11/2011	PROJECT: GRAVITY MANHOLE CONNECTION
DATE: 11/11/2011	PROJECT: FORCE MAIN CONNECTION
DATE: 11/11/2011	PROJECT: SERVICE LATERAL

PROJECT: GRAND PINES
ORANGEWOOD
N-2-PD
PARCEL 11D
PHASE 5

Submittal To: ORANGE COUNTY, FL

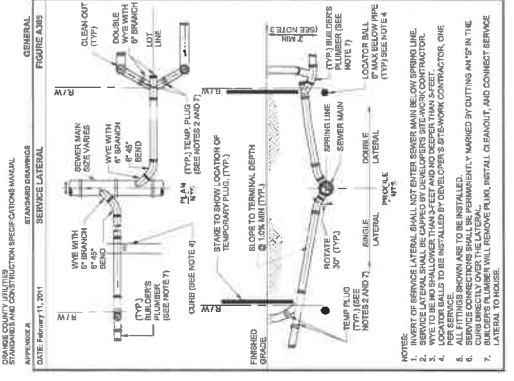
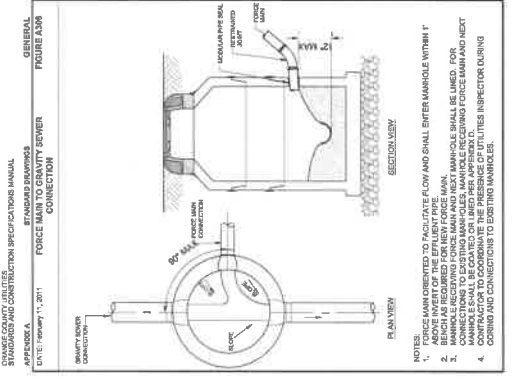
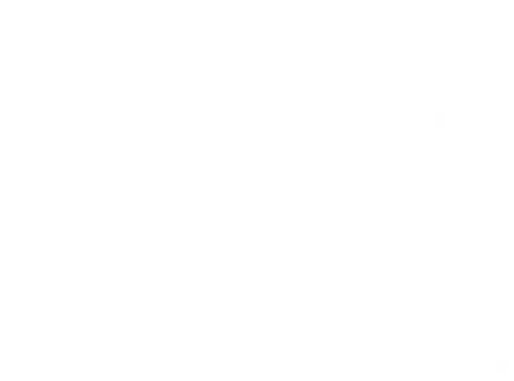
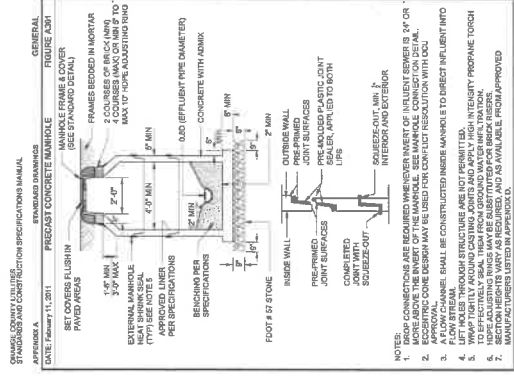
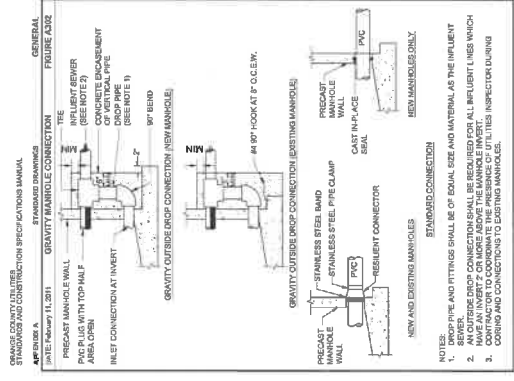
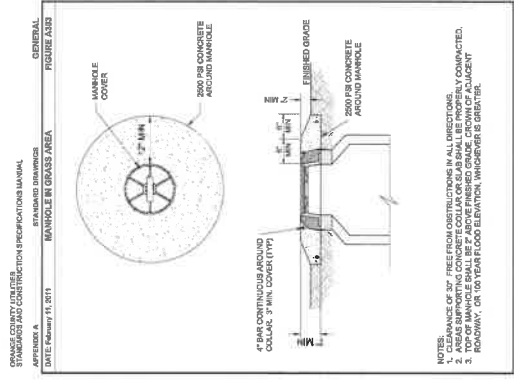
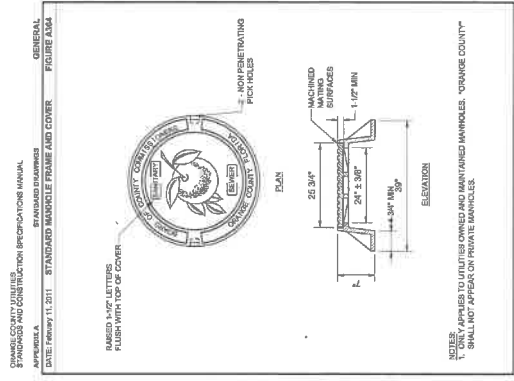
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Sheet No.: C7.20



DATE: November 11, 2011
DRAWN BY: KLOCKNER
PROJECT: GRAND PINES
ORANGEWOOD
N-2-PD
PARCEL 11D
PHASE 5

POSITIONS & SERVICES
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SECTION VII

SECTION A

Customer Call Log - Valencia Water Control District

Date	Name	Subdivision	Address	Issue	Pond/Canal Name	Resolution	Date Resolved
12/22/21	Roberta Witherspoon	Greenbriar Village	4948 Goucher Lane	Checked back to see if it was safe to resume irrigation and who Williamsburg representative was.	C-10	Ms. Vanderbilt advised that treatment had been done and water levels were back high enough that she could resume irrigation. Also advised that there were individual HOAs for the individual communities, and not a direct Williamsburg contact.	12/27/21
2/1/22	Roy Miller	Waterview	5412 Shingle Creek Drive	Reported algae bloom in pond.	Waterview Pond #2	Mr. Flint reported issue to aquatic vendor that would treat later in the week. Advised Mr. Miller.	2/1/22