# Valencia Water Control District

Agenda

August 8, 2023

# **AGENDA**

## VALENCIA WATER CONTROL DISTRICT

# NOTICE OF MEETING OF BOARD OF SUPERVISORS

Please be advised that the Meeting of the Board of Supervisors of Valencia Water Control District will be held on Tuesday, August 8, 2023 at 1:00 P.M. in the Lake Ridge Village Clubhouse, 10630 Larissa Street (Directions listed below). Attached is an Agenda for the meeting.

George S. Flint, District Director

#### **DIRECTIONS TO MEETING:**

From Orlando go West on I-4 to the Beach Line Expressway (528); go east past International Drive to Orangewood Blvd.; Go South on Orangewood Blvd., through 4-way stop at Gateway, turn left on Larissa Street. Proceed to Lake Ridge Village Clubhouse on right.

#### **DISTRIBUTION**

Roy Miller; William Ingle; Debra Donton; Brian Andrelczyk; Amanda Whitney; David E. Mahler; Stephen F. Broome; Green Briar Village Clubhouse; Lake Ridge Village Clubhouse; Lime Tree Village Clubhouse; Montpelier Village Clubhouse; Parkview Pointe Village Clubhouse; Somerset Village Clubhouse; Deer Creek Village Clubhouse; Wingate Club; Lyle Spector, WHOA; and Tom Johnson, Orangewood HOA; Roy Miller, Waterview HOA; and Ken LaFrance, Windsor Walk.

"Persons are advised that if they decide to appeal any decisions made at these meetings/hearings, they will need a record of the proceedings and for such purpose they may need to ensure that a verbatim record of the proceedings is made which includes the testimony and evidence upon which the appeal is to be based, per section 298.0105, Florida Statutes."

"In accordance with the Americans with Disabilities Act, persons with disabilities needing a special accommodation should contact Valencia Water Control District at (407) 841-5524 x 101, not later than forty-eight hours prior to the meeting."

## **AGENDA**

August 8, 2023

## VALENCIA WATER CONTROL DISTRICT BOARD OF SUPERVISORS MEETING 1 P.M.

## LAKE RIDGE VILLAGE CLUBHOUSE 10630 LARISSA STREET WILLIAMSBURG, ORLANDO, FLORIDA 32821

#### <u>Item</u>

- 1. Call Meeting to Order
- 2. Public Comment Period
- 3. Approval of July 11, 2023 Monthly Meeting Minutes
- 4. General Fund Financial Reports
- 5. Engineer's Report
  - A. Approval of Permit #0528 PAC I-Drive Apartments
- 6. Attorney's Report
- 7. Director's Report
  A. Customer Call Log
- 8. Other Business
- 9. Adjournment

# **MINUTES**

# MINUTES OF THE ANNUAL MEETING OF THE BOARD OF SUPERVISORS OF VALENCIA WATER CONTROL DISTRICT

## July 11, 2023

The annual meeting of the Board of Supervisors of VALENCIA WATER CONTROL DISTRICT was held at 1:00 P.M. on Tuesday, July 11, 2023, at the Lake Ridge Village Clubhouse, 10630 Larissa Street, Orlando, Florida. Physically present were Supervisors Roy Miller, Debra Donton, Brian Andrelczyk and Amanda Whitney. Also, in attendance were the following: George Flint, District Director, Stephen Broome, District Counsel; David Mahler, District Engineer; Stacie Vanderbilt, District Administrative Assistant; and Dan Brown, Sthern Environmental.

#### ITEM #1

#### Call Meeting to Order

Mr. Flint called the meeting to order at 1:00 P.M. A quorum of four Board members were present.

#### **ITEM #2**

#### **Public Comment Period**

No members of the public were present to provide public comment.

#### **ITEM #3**

# Approval of June 13, 2023 Annual Meeting Minutes

Mr. Flint stated the next item was the minutes from the June 13, 2023 annual meeting. He asked if there were any corrections, deletions, or additions.

On MOTION by Mr. Miller, seconded by Ms. Donton with all in favor the Minutes from the June 13, 2023 Monthly Meeting were approved as presented.

#### ITEM #4

#### **General Fund Financial Reports**

Mr. Flint reviewed the financial statements with the Board and noted that they have collected about \$500,000 in assessments and will check on delinquent assessments. The administrative and capital projects look good.

#### **ITEM #5**

#### **Engineer's Report**

#### A. Permit #0527 – Sea World Orlando 2024 Project

Mr. Mahler stated there is a minor modification of the master permit to build a new ride in 2024. It doesn't change the discharge rate and he recommended approval.

On MOTION by Ms. Donton, seconded by Mr. Andrelczyk with all in favor Permit #0527 - Sea World Orlando 2024 Project, was approved.

#### **ITEM #6**

#### Attorney's Report

Mr. Broome had nothing new to report to the Board.

#### **ITEM #7**

### **Director's Report**

#### A. Customer Call Log

Mr. Flint reviewed the log with the Board. The first call with Orangewood HOA is regarding maintenance of their pond because debris and vegetation is blocking the District's structure. The HOA is self-managed by the resident, no management company. Mr. Flint advised that he got in touch with one of the current Board members who assured that they would get it handled and let the District know. Another call was a resident in Deer Creek wanting to plant a tree in the District's maintenance easement. Mr. Flint stated that he had to tell the resident it wasn't allowed per the plat.

ITEM #8 Other Business

Mr. Miller stated all of the signs in Waterview are gone, the poles and signs have all been removed. He asked if any of the residents had called to report it.

Ms. Vanderbilt replied no one had contacted her directly.

Mr. Brown stated he will go to Waterview right after the meeting and review the area.

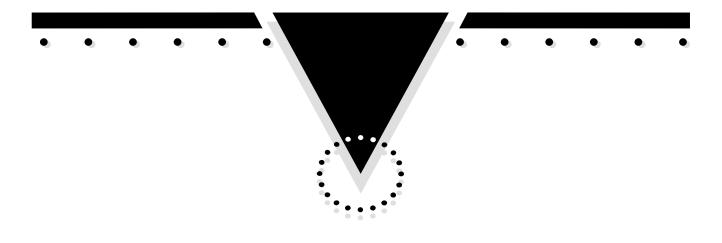
#### **ITEM #9**

## Adjournment

On MOTION by Ms. Donton, seconded by Mr. Miller, the meeting was adjourned at 1:10 pm.

	Stephen F. Broome, Secretary
William Van Ingla	
William Von Ingle	
Amanda Whitney	
Debra Donton	<del></del>
Roy Miller	_
Brian Andrelczyk	<del></del> 8

# SECTION IV



# Valencia Water Control District

Unaudited Financial Reporting
July 31, 2023



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# WATER CONTROL DISTRICT BALANCE SHEET July 31, 2023

	General	Capital Reserve	Totals
	Fund	Fund	2023
ASSETS:			
CURRENT ASSETS			
OPERATING - TRUIST	\$198,116		\$198,116
CAPITAL RESERVE - TRUIST		\$276,921	\$276,921
INVESTMENTS		1 -7-	, -,-
SBA - CAPITAL RESERVES		\$780,006	\$780,006
SBA - OPERATING RESERVES	\$41,238		\$41,238
PETTY CASH	\$100		\$100
TOTAL CURRENT ASSETS	\$239,454	\$1,056,927	\$1,296,380
FIXED ASSETS			
LAND	\$700,120		\$700,120
STRUCTURES	\$672,531		\$672,531
CANALS	\$2,888,690		\$2,888,690
PONDS	\$1,245,537		\$1,245,537
EQUIPMENT & OFFICE FURNITURE	\$12,767		\$12,767
ACCUMULATED DEPRECIATION	(\$4,786,726)		(\$4,786,726)
TOTAL FIXED ASSETS	\$732,919	\$0	\$732,919
TOTAL ASSETS	\$972,373	\$1,056,927	\$2,029,300
LIABILITIES:			
ACCOUNTS PAYABLE			\$0
FUND EQUITY:			
FUND BALANCES:			
UNASSIGNED	\$239,454	\$1,056,927	\$1,296,380
NET ASSETS CAPITALIZED	\$732,919		\$732,919
TOTAL LIABILITIES & FUND EQUITY	\$972,373	\$1,056,927	\$2,029,300

#### WATER CONTROL DISTRICT

#### **GENERAL FUND**

#### Statement of Revenues & Expenditures

For The Period Ending July 31, 2023

	ADOPTED	PRORATED BUDGET	ACTUAL	
	BUDGET	THRU 7/31/23	THRU 7/31/23	VARIANCE
REVENUES:				
ASSESSMENTS - TAX ROLL	\$553,302	\$553,302	\$538,950	(\$14,352)
INTEREST	\$100	\$83	\$1,670	\$1,587
MISCELLANEOUS REVENUE	\$0	\$0	\$294	\$1,376
TOTAL REVENUES	\$553,402	\$553,385	\$540,914	(\$11,389)
EXPENDITURES:				
ADMINISTRATIVE:				
SUPERVISORS FEES	\$2,500	\$2,083	\$1,750	\$333
ENGINEERING	\$37,200	\$31,000	\$16,800	\$14,200
ATTORNEY	\$12,000	\$10,000	\$10,000	\$0
ANNUAL AUDIT	\$5,200	\$5,200	\$5,200	\$0
ASSESSMENT ROLL CERTIFICATION	\$2,500	\$2,500	\$2,500	\$0
MANAGEMENT FEES	\$50,264	\$41,887	\$41,887	(\$0)
INFORMATION TECHNOLOGY	\$1,300	\$1,083	\$1,083	\$0
WEBSITE ADMINISTRATION	\$800	\$667	\$667	(\$0)
INSURANCE	\$14,710	\$14,710	\$13,179	\$1,531
REPORT PREPARATION - NPDES	\$15,000	\$12,500	\$3,364	\$9,136
OFFICE LEASE	\$12,980	\$10,817	\$3,430	\$7,387
PRINTING & BINDING	\$500	\$417	\$396	\$20
POSTAGE	\$500	\$417	\$370	\$47
TRAVEL PER DIEM	\$100	\$83	\$0	\$83
LEGAL ADVERTISING	\$2,500	\$2,083	\$820	\$1,264
BANK FEES	\$500	\$417	\$440	(\$23)
OTHER CURRENT CHARGES	\$400	\$333	\$0	\$333
OFFICE SUPPLIES	\$350	\$292	\$140	\$151
ELECTION FEES	\$3,750	\$3,750	\$5,448	(\$1,698)
MEETING RENTAL FEE	\$500	\$417	\$400	\$17
PROPERTY APPRAISER FEE	\$5,417	\$0	\$0	\$0
DUES, LICENSES & SUBSCRIPTIONS	\$2,150	\$1,675	\$1,675	\$0
TOTAL ADMINISTRATIVE	\$171,121	\$142,330	\$109,549	\$32,781

#### WATER CONTROL DISTRICT

#### **GENERAL FUND**

#### Statement of Revenues & Expenditures

For The Period Ending July 31, 2023

	ADOPTED	PRORATED BUDGET	ACTUAL	
L	BUDGET	THRU 7/31/23	THRU 7/31/23	VARIANCE
FIELD OPERATIONS:				_
UTULTIEC.				
<u>UTILITIES:</u> ELECTRIC	Ć7F0	\$625	\$50	\$575
WATER & SEWER	\$750 \$500	\$625 \$417	\$50 \$55	\$362
	\$500	\$417	\$55	\$302
CONTRACTS: AQUATIC WEED CONTROL	\$40,000	\$33,333	\$27,721	\$5,613
MOWING				
	\$98,289	\$72,742	\$72,742	\$0
WATER QUALITY MONITORING	\$19,746	\$16,455	\$14,735	\$1,721
REPAIRS & MAINTENANCE:  CANAL & RETENTION POND MAINTENANCE	¢40,000	ຕ່າງ ງາງ	¢16.600	¢16.646
OFFICE	\$40,000	\$33,333	\$16,688	\$16,646
	\$500	\$416	\$45	\$371
SECURITY GATES & SIGNS	\$750	\$625	\$0	\$625
OTHER:	¢c.000	¢r.000	62.075	ć2.425
NPDES INSPECTION & FEES	\$6,000	\$5,000	\$2,875	\$2,125
OPERATING SUPPLIES	\$500	\$417	\$0	\$417
CONTINGENCY	\$2,500	\$2,083	\$0	\$2,083
TOTAL FIELD OPERATIONS	\$209,534	\$165,447	\$134,909	\$30,537
OTHER USES				
TRANSFER OUT - CAPITAL RESERVE	\$267,402	\$267,402	\$267,402	\$0
TOTAL OTHER USES	\$267,402	\$267,402	\$267,402	\$0
TOTAL EXPENDITURES	\$648,057	\$575,179	\$511,860	\$63,318
EXCESS REVENUES (EXPENDITURES)	(\$94,655)		\$29,054	
FUND BALANCE - Beginning	\$94,656		\$943,319	
FUND BALANCE - Ending	\$0		\$972,373	

## WATER CONTROL DISTRICT

#### **CAPITAL RESERVE FUND**

#### Statement of Revenues & Expenditures

For The Period Ending July 31, 2023

	ADOPTED	PRORATED BUDGET	ACTUAL	
<u>L</u>	BUDGET	THRU 7/31/23	THRU 7/31/23	VARIANCE
REVENUES:			·	
TRANSFERIN	\$267,402	\$267,402	\$267,402	\$0
INTEREST	\$100	\$83	\$29,003	\$28,920
TOTAL REVENUES	\$267,502	\$267,485	\$296,405	\$28,920
EXPENDITURES:				
<u>EXPENDITURES</u>				
CONTINGENCY	\$500	\$417	\$395	\$21
CAPITALIMPROVEMENTS	\$100,000	\$83,333	\$105,528	(\$22,194)
TOTAL EXPENDITURES	\$100,500	\$83,750	\$105,923	(\$22,173)
EXCESS REVENUES (EXPENDITURES)	\$167,002		\$190,482	
FUND BALANCE - Beginning	\$760,956		\$866,445	
FUND BALANCE - Ending	\$927,958		\$1,056,927	

VALENCIA
Water Control District

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Total
REVENUES:													
ASSESSMENTS - TAX ROLL	\$0	\$27,178	\$201,001	\$101,152	\$92,506	\$44,018	\$15,103	\$35,485	\$13,092	\$9,415	\$0	\$0	\$538,950
INTEREST	\$143	\$173	\$197	\$210	\$198	\$210	\$171	\$184	\$182	\$2	\$0	\$0	\$1,670
MISCELLANEOUS REVENUE	\$0	\$0	\$212	\$82	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$294
TOTAL REVENUES	\$143	\$27,351	\$201,410	\$101,444	\$92,705	\$44,227	\$15,274	\$35,669	\$13,274	\$9,417	\$0	\$0	\$540,914
EXPENDITURES:													
ADMINISTRATIVE:													
SUPERVISORS FEES	\$250	\$250	\$0	\$0	\$150	\$250	\$250	\$250	\$150	\$200	\$0	\$0	\$1,750
ENGINEERING	\$2,100	\$2,100	\$2,100	\$2,100	\$2,100	\$2,100	\$2,100	\$2,100	\$0	\$0	\$0	\$0	\$16,800
ATTORNEY	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$0	\$0	\$10,000
ANNUAL AUDIT	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,200	\$0	\$0	\$0	\$5,200
ASSESSMENT ROLL CERTIFICATION	\$2,500	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,500
MANAGEMENT FEES	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$0	\$0	\$41,887
INFORMATION TECHNOLOGY	\$108	\$108	\$108	\$108	\$108	\$108	\$108	\$108	\$108	\$108	\$0	\$0	\$1,083
WEBSITE ADMINISTRATION	\$67	\$67	\$67	\$67	\$67	\$67	\$67	\$67	\$67	\$67	\$0	\$0	\$667
INSURANCE	\$13,179	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$13,179
REPORT PREPARATION - NPDES	\$1,515	\$484	\$0	\$525	\$570	\$180	\$90	\$0	\$0	\$0	\$0	\$0	\$3,364
OFFICE LEASE	\$1,883	\$130	\$130	\$130	\$193	\$193	\$193	\$193	\$193	\$193	\$0	\$0	\$3,430
PRINTING & BINDING	\$0	\$100	\$50	\$0	\$0	\$96	\$38	\$28	\$85	\$0	\$0	\$0	\$396
POSTAGE	\$0	\$104	\$47	\$3	\$6	\$72	\$46	\$47	\$46	\$0	\$0	\$0	\$370
TRAVEL PER DIEM	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
LEGAL ADVERTISING	\$0	\$0	\$0	\$0	\$0	\$167	\$208	\$445	\$0	\$0	\$0	\$0	\$820
BANK FEES	\$74	\$39	\$39	\$39	\$38	\$39	\$54	\$39	\$39	\$39	\$0	\$0	\$440
OTHER CURRENT CHARGES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
OFFICE SUPPLIES	\$0	\$47	\$19	\$0	\$0	\$18	\$19	\$19	\$19	\$0	\$0	\$0	\$140
ELECTION FEES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,448	\$0	\$0	\$0	\$0	\$5,448
MEETING RENTAL FEE	\$50	\$50	\$0	\$0	\$50	\$50	\$50	\$50	\$50	\$50	\$0	\$0	\$400
PROPERTY APPRAISER FEE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
DUES, LICENSES & SUBSCRIPTIONS	\$1,675	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,675
TOTAL ADMINISTRATIVE	\$28,590	\$8,667	\$7,748	\$8,161	\$8,471	\$8,528	\$8,411	\$13,982	\$11,144	\$5,846	\$0	\$0	\$109,549

VALENCIA
Water Control District

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Total
FIELD OPERATIONS:													
<u>UTILITIES:</u>													
ELECTRIC	\$50	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$50
WATER & SEWER	\$27	\$28	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$55
CONTRACTS:													
AQUATIC WEED CONTROL	\$4,572	\$2,322	\$2,322	\$2,322	\$2,322	\$4,572	\$2,322	\$2,322	\$2,322	\$2,322	\$0	\$0	\$27,721
MOWING	\$15,885	\$4,590	\$0	\$0	\$0	\$0	\$15,892	\$15,892	\$15,892	\$4,590	\$0	\$0	\$72,742
WATER QUALITY MONITORING	\$1,646	\$1,646	\$1,571	\$1,646	\$1,646	\$1,646	\$1,646	\$1,646	\$1,646	\$0	\$0	\$0	\$14,735
REPAIRS & MAINTENANCE:													
CANAL & RETENTION POND MAINTENANCE	\$1,473	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$2,500	\$5,840	\$875	\$0	\$0	\$16,688
OFFICE	\$0	\$45	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$45
SECURITY GATES & SIGNS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
OTHER:													
NPDES INSPECTION & FEES	\$0	\$0	\$1,875	\$0	\$0	\$0	\$0	\$0	\$1,000	\$0	\$0	\$0	\$2,875
OPERATING SUPPLIES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
CONTINGENCY	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL FIELD OPERATIONS	\$23,652	\$9,631	\$6,768	\$4,968	\$4,968	\$7,218	\$20,860	\$22,360	\$26,700	\$7,787	\$0	\$0	\$134,909
OTHER USES:													
TRANSFER OUT - CAPITAL RESERVE	\$0	\$0	\$0	\$200,000	\$67,402	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$267,402
TOTAL OTHER USES	\$0	\$0	\$0	\$200,000	\$67,402	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$267,402
TOTAL EXPENDITURES	\$52,241	\$18,298	\$14,516	\$213,128	\$80,841	\$15,746	\$29,271	\$36,342	\$37,844	\$13,633	\$0	\$0	\$511,860
EXCESS REVENUES (EXPENDITURES)	(\$52,098)	\$9,054	\$186,894	(\$111,685)	\$11,864	\$28,481	(\$13,997)	(\$673)	(\$24,570)	(\$4,216)	\$0	\$0	\$29,054

# VALENCIA WATER CONTROL DISTRICT

#### SPECIAL ASSESSMENT RECEIPTS - FY2023

#### TAX COLLECTOR

Gross Assessments \$
Net Assessments \$

576,853 \$ 548,011 \$

576,853 548,011

Date Received	Dist.#	Gro	ss Assessments Received		oiscounts/ Penalties	Co	ommissions Paid		Interest Income	N	let Amount Received	G	eneral Fund		Total 100%
Neceived	D131.π		Received		Cilaities		raiu		ilicollie		Received		100.0076		100%
11/1/22	1	\$	2,322.26	\$	116.75	Ś	22.06	Ś	-	\$	2,183.45	Ś	2,183.45	Ś	2,183.45
11/14/22	2	\$	5,472.64	Ś	217.65	Ś	52.55	\$	-	\$	5,202.44		5,202.44	\$	5,202.44
11/21/22	3	\$	20,824.16	\$	831.99	\$	199.92	\$	-	\$	19.792.25	\$	19.792.25	\$	19.792.25
12/5/22	4	Ś	122,978.48	Ś	4.918.71	Ś	1,180.60	\$	-	Ś	116,879.17	\$	116,879.17	Ś	116,879.17
12/14/22	5	\$	56.352.32	\$	2.253.76	\$	540.99	\$	231.02	\$	53,788.59	\$	53.788.59	\$	53,788.59
12/19/22	6	\$	31,915.66	\$	1,276.38	\$	306.39	\$	-	\$	30,332.89	\$	30,332.89	\$	30,332.89
1/11/23	7	\$	106,429.60	\$	4,255.80	\$	1,021.74	\$	-	\$	101,152.06	\$	101,152.06	\$	101,152.06
2/1/23	8	\$	62,931.88	\$	2,507.27	\$	604.25	\$	-	\$	59,820.36	\$	59,820.36	\$	59,820.36
2/13/23	9	\$	34,378.45	\$	1,362.40	\$	330.16	\$	-	\$	32,685.89	\$	32,685.89	\$	32,685.89
3/14/23	10	\$	43,861.18	\$	1,732.79	\$	421.28	\$	2,310.41	\$	44,017.52	\$	44,017.52	\$	44,017.52
4/12/23	11	\$	15,782.04	\$	526.83	\$	152.55	\$	-	\$	15,102.66	\$	15,102.66	\$	15,102.66
5/11/23	12	\$	36,853.90	\$	1,010.26	\$	358.44	\$	-	\$	35,485.20	\$	35,485.20	\$	35,485.20
6/13/23	13	\$	12,490.97	\$	91.57	\$	123.99	\$	816.74	\$	13,092.15	\$	13,092.15	\$	13,092.15
7/12/23	14	\$	9,415.29	\$	-	\$	-	\$	-	\$	9,415.29	\$	9,415.29	\$	9,415.29
		\$	-	\$	-	\$	-	\$	-	\$	_	\$	-	\$	-
		\$	-	\$	-	\$	-	\$	-	\$	_	\$	-	\$	-
		\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-
		\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-
		\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-
Totals		\$	562,008.83	\$	21,102.16	\$	5,314.92	\$	3,358.17	\$	538,949.92	\$	538,949.92	\$	538,949.92

# SECTION V

# SECTION A



# VALENCIA WATER CONTROL DISTRICT 219 E. LIVINGSTON STREET, ORLANDO, FL 32801

PHONE: 407-841-5524 x 101 - Fax: 407-839-1526

August 8, 2023

PAC I-Drive Apartments, LLC Attn: Tom Cavanaugh 730 Bonnie Brae Street Winter Park, FL 32789

Subject: Permit #0528

Dear Mr. Cavanaugh:

PAC I-Drive Apartments, LLC is hereby granted a construction permit related to a Multi-family project, PAC I-Drive Apartments Orangewood N-2/Grande Pines Parcel 11D. Approval is granted in accordance with approved plans and hydraulic calculations and the following **GENERAL AND SPECIFIC CONDITIONS:** 

#### **GENERAL CONDITIONS:**

- 1. That the District or their agents may at any time make such inspections as they may deem necessary to ensure that the construction or work is performed in accordance with the conditions of this permit.
- 2. That the permittee will maintain the work authorized herein during construction and thereafter in good condition in accordance with the approved plans.
- 3. That the permittee shall comply promptly with any lawful regulations, conditions, or instructions affecting the structure or work authorized herein if and when issued by the U.S. Environmental Protection Agency, the South Florida Water Management District and the Florida Department of Environmental Protection and/or any county or city environmental protection agency having jurisdiction to abate or prevent water pollution, including thermal or radiation pollution. Such regulations, conditions, or instructions in effect or hereafter prescribed by the federal, state, county and city agencies have hereby made a condition of this permit.
- 4. It is understood and agreed that the rights and privileges herein set out are granted only to the extent of the District's right, title and interest in the land to be entered upon and used by the permittee, and the permittee will at all times, assume all risk and indemnify, defend and save harmless Valencia Water Control District from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercises by the permittee of the aforesaid rights and privileges.

- 5. The permittee and/or their agents will use every measure to prevent the run-off of turbid water into the District's facilities including, but not limited to, the use of temporary ponds, silt barriers, chemical additives and temporary grassing during construction.
- 6. If discharge of water by permittee should at any time raise the level of pollutants in the District's water management facility to the point where the District is in violation of a statute or regulation, permittee will either: (a) immediately cease such discharge, (b) remove pollutants from the water before discharging into District facilities, and pay all costs which the District must incur in order to reduce pollution in the District's facilities to acceptable levels.
- 7. That all the provisions of this permit shall be binding on any assignee or successor in interest of the permittee.
- 8. That any modification, suspension or revocation of this permit shall not be the basis for a claim for damages against Valencia Water Control District.
- 9. The Valencia Water Control District agrees that the issuance of this permit allows the passage of water through their canals but in so doing does not assume any responsibility for damage to any persons or property.
- 10. That the engineer of record certify that the facilities as constructed comply with the submitted hydraulic calculations and approved drawings.
- 11. That the permittee agrees not to modify or alter the constructed facilities at any future time without the express consent of the District.
- 12. This permit is valid for 3 years from date of approval or runs concurrently with the SFWMD permit, if required, whichever expires first.
- 13. That this permit must be executed within 30 days of Board approval or must be brought back to the Board for reconsideration.

#### **END OF GENERAL CONDITIONS**

## **SPECIFIC CONDITIONS**

That the Construction Plans, sheets C0.00; C0.10 - C0.12; C0.20; C0.21; C1.00; C2.00; C2.10; C3.00 - C3.10; C3.10; C4.00; C4.10; C5.00; C7.00; C7.10 - C7.12; 1 - 2; L0.00; L0.01; L0.11; L0.12; L0.13; L0.14; L0.15; L1.00 - L1.86; L2.00 - L2.18; L3.00 - L3.81; L4.00 - L4.91; L5.00 - L5.83; L6.00 - L6.04; Z101 - Z102; and E02-01 titled PAC I-Drive Apartments Orangewood N-2 PD/Grande Pines Parcel 11D as recommended for approval by the District Engineer on August 3, 2023, become part of this permit.

Attest:	Signature:
	PAC I-Drive Apartments, LLC
	Title:
Attest:	Granted by:
	Valencia Water Control District
	Ву:
	Roy Miller, President
	On this day of , 2023



August 3, 2023

Mr. George Flint, P.E., Director Valencia Water Control District 219 E Livingston Street Orlando, Florida 32801

RE:

**Grand Pines PAC I-Drive Apartments** 

VWCD Permit No. 528 CPH Project No. 6816.07

**Dear Honorable Board Members:** 

We have completed our review of the above\_referenced project submitted by Poulos & Bennett, LLC on August 1, 2023. Based on our review we have no objection to the Board approving this permit.

Sincerely,

CPH, LLC

David E. Mahler, P.E.

District Engineer

Cc: Rick Ortiz, P.E., Poulos & Bennett

Permit No.\_\_\_\_(Assigned by V.W.C.D.)

# PERMIT APPLICATION Valencia Water Control District c/o CPH, Inc. 1117 E. Robinson Street Orlando, FL 32801

VWCD Office: (407) 841-5524 X 101 CPH, Inc. (407) 425-0452

(1)	PROPOSED USE: Multifamily Project PAC I-Drive Apartments Orangewood N-2 PD/Grande Pines Parcel 11D
(2)	LOCATION OF WORK: Block: 6283 Lot: 00 Subdivision: 110 or Section: 13 Township: 24 Range: 28
(3)	DISTRICT WORKS INVOLVED:Ultimate discharge into C-1 canal after treatment in on-site ponds.
(4)	OWNER OF PROPOSED WORK OR STRUCTURE: Phone #: _407-628-3065  Name: Tom Cavanaugh, PAC I-Drive Apartments, LITitle:
	(Street) (City) (State) (Zip)
(5)	APPLICATION OTHER THAN OWNER: (if any) Phone #: Name: Serving as: Address:
	Address: (Street) (City) (State) (Zip)
(6)	AREA PROPOSED TO BE SERVED: Give legal description and size in acres. Attach legal description if necessary. If land is platted, indicate Block, Lot and Subdivision.
	See legal description
(7)	CONSTRUCTION SCHEDULE: The proposed work, if permitted, will begin within 8/25/2023 Calendar days of permit approval and be completed within 365 calendar days thereafter.
(8)	This application, including sketches, drawings or plans and specifications attached contains a full and complete description of work proposed or use desired of the above described facilities of the District and for which permit is herewith applied. It shall be a part of any permit that may be issued. It is agreed that all work or the use of the District's facilities will be in accordance with the permit to be granted.
	Submitted this 27 day of, 2021
	Signature of Property Owner (Officer of Corporation):
	Print Name of Property Owner (Officer):

# **PAC I-Drive Apartments** Orangewood N-2 PD/Grande Pines Parcel 11D

Orange County, FL

LEGAL DESCRIPTION: Commercial Parcel South

A parcel of land comprising a portion of Golf Course Parcel 11, Orangewood Neighborhood 2, as recorded in Plat Book 17, Pages 81 through 87, Public Records of Orange County, Florida.

Being more particularly described as follows:

Being more perfectionly described as follows:

COMMENCE at the Southwest corner of aforesaid Parcel 11, also being a point on the Westerly right-of-way line of international Drive; thence run North 322 53 14\* East along sold Westerly right-of-way line for a distance of 50,05 for 150 36 35 West for a distance of 18,88 feet; thence run South 52 53 17" West for a distance of 9,63 feet; thence run South 37 66 43\* East for a distance of 12,63 feet to 16,88 feet; thence run South 52 53 17" West for a distance of 9,63 feet; thence run North 40\* OS 58\* West for a distance of 24,55 feet to the point of curvature of a curvature of 25,51 feet; thence run North 40\* OS 58\* West for a distance of 24,55 feet to the point of curvature of a curvature of a curvature of 30,48 feet; thence run Northwesterly howing a rodule of 83,00 feet, with a chord bearing of North 53 59\* OS\* West for a distance of 188,74 feet; thence run Northwesterly howing a rodule of 84,025 feet to 29 high a control lange of 27\* 45\* Control of 188,74 feet; thence run North 20\* OS\* 44\* feet; thence run North 20\* OS\* 44\* feet; thence run North 20\* OS\* 44\* feet; thence of 500,38 feet to a point on a non tangent; tence or North 52\* 53\* 14\* East for a distance of 188,04 feet; thence run North 20\* OS\* 44\* feet; thence of 500,38 feet to a point on a non tangent curve, conceve Southwesterly howing a rodule of 364 Gerva; 93\* 13\* 13\* Control of concept of 280,99 feet; thence run Northwesterly right-of-way line; Southwesterly along the arc of seld distance of 364 Gerva; 93\* 13\* 13\* Control of or distance of 280,99 feet to a point on oresid Westerly right-of-way line; Southwesterly along the arc of seld curve through a central onled of 00\* 25\* 55\* for an arc distance of 14.38 feet; thence run the following courses along sold Westerly right-of-way line; Southwesterly along the arc of seid curve through a central onled of 00\* 25\* 55\* for an arc distance of 14.38 feet; to a point on a non tangent li

Scott + Cormia Architecture and Interior, LLC

429 South Keller Road, Suite 200 Orlando, FL 32810

Landscape Architect:

LandDesign

Containing 4.46 acres

Civil Engineer

2602 E. Livingston St. Orlando, FL 32803

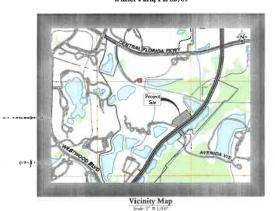
Allen & Company

16 East Plant St. Winter Garden, FL 34787 407 654 5355

13-24-28-6283-00-110

Parcel Id. No.:

Owner/Developer/Applicant: PAC 1-Drive Apartments, LLC 730 Bonnie Brae Street Winter Park, FL 32789



Permit No. 48-108279-P

C0.00 Cover Sheet C0.10 Construction Notes CO 20 Emeion Control And Demolition Plan C0.21 Erosion Control Notes And Details Master Site Plan & Site Data C1.00 Site & Geometry Plan C2.00 C2.10 Easement Plan C3.00 Paving, Grading & Drainage Plan Grading Sections and Details C3.10 Utility Plan C4.00 Utility Crossing & Asset Tables C4.10 C5.00 Fire Protection Plan C7.00 General Construction Details Standard Utility Details C7.10 Survey Plans Boundary & Topographic Survey Landscape Architectural L0.00 L0.01 General Notes/Abbreviations/Symbol Overall Site Plan Overalt Fence Plan Site Landscape Draza Location Overall Key Plan L0.14 L0.15 Enlargement Key Plan L1.00 Hardscape Schedule, Notes, Plans, & Details Tree Planting, Notes, Plans, & Details 1,2.00 L3.00 Shrub & Goundcover Notes, Plans, & Details Site Furnishing Plans & Details L4.00 Site Lighting Notes, Plans, & Details L5.00 1.6.00 Irrigation Notes, Plans, & Details Z101 E02-01 Site Photometric Plan Date Description

Submit To Orange County

01/5/2023

POULOS SBENNETT

2602 E. Livingston St., Orlando, FL 32803 Tel. 407.487.2594 www.poulosandbennett.cor Eng. Bus. No. 28567 P&B Job No.: 21-188

Page 1 of 16

Universal Engineering Sciences, LLC 3532 Maggie Boulevard Orlando, EL 32811 407.423.0894

- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN MAND AT THE JOB SITE PRIOR TO THE COMMENCEUR OF CONSTRUCTION. CONTRACTOR SMALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN, PERMITS INCLUDED (BUT NOT NECESSARILY LIMITED TO) ARE:
- WATER MANAGEMENT DISTRICT CONSUMPTIVE USE (WATER USE) FOR CONSTRUCTION DEWATERING (CHP)
- WATER MANAGEMENT DISTRICT EMPIRONMENTAL RESOURCE PERMIT (ERP) OR MSSW WATER MANAGEMENT DISTRICT WETLAND RESOURCE PERMIT
- FDEP WATER DISTRIBUTION FDEP SANITARY SEWER COLLECTION AND TRANSMISSION
- FOEP RELISE
- FDEP DREDGE AND FILL
- ACOE NATIONWIDE OR INDIVIDUAL DREDGE AND FILL LOCAL RIGHT OF WAY USE
- LOCAL UNDERGROUND UTILITIES
- FOOT DRIVEWAY CONNECTION
- FDOT STORMWATER DISCHARGE CONNECTION
- FDEP & EPA NPOES STORMWATER
- FLORIDA FISH AND WILDLIFE CONSERVATION CONVISSION TORTOISE INCIDENTAL TAKE
- "TUDING FOR AN INJUSTIC CONSCIONATION COMMISSION UNDER INJUSTICES INCRECINE TO CONTROL OF INJUSTIC TO CONSTRUCTION ACTIVITY UNDER THE ROPES GENERAL PROPRIES FOR A SECURITY UNDER THE ROPES GENERAL PROPRIES TO BEDWINNIG WORK, IN THE STATE OF FLORIGN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROFESSIONS IN THE PERSON OF THE PLANTAGE OF THE PROPRIES AND THE PLANTAGE OF THE PLANTAGE AGENCY. IT IS CONTRACTOR'S SOLE RESPONSIBILITY TO DRITAIN SAME, A COPY SHALL BE SENT TO
- FLORIDA LAW (F.S. 556 THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT) FLOREN, LIW (F.S. 558 — THE UNICEDIDADE PARLIET UMWASE PRESENTING AND SWETY ACT) PROTECTION OF UNDERGOODING PRESENTING AND SWETY ACT) PROTECTION OF UNDERGOODING PRESENT SWEETS, MALINES THE "TO CLONARIOS FAUL COMMISSION OF PRESENT ACT DESCRIPTION OF THE PROTECTION EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS).
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE PROJECT SITE DURING CONSTRUCTION, TO PREVENT TRESPASSING OF LINALITHORIZED PEDESTRIANS AND/OR VEHICLES IN ALL WORK AREAS, THE
- PRECENT TRESPOSITION OF UNINTHRIBIZED PRESSTANCE AND/OR LOCALISES IN ALL MORK AREAS. THE CONTRICTION SHALL FOOT SIGHT, CONTRICTION SHALL BE INTELLED OF THE PRINTED PRINTED BY THE SHALL BE INTELLED OF THE SHALL BE INTELLED
- PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE POULOS & BENNETT WITH CONSTRUCTION SCHEDULE FOR VARIOUS SIZE WORK LEBEMENTS SO THAT PERSONS CETT VESTES LAW GE CORRINANTED TO INSIGHE THEIR VESTES LAW GE CORRINANTED TO INSIGHE THEIR VESTES LAW GE CORRINANTED CONTRACTOR OF SHANCE OF
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF ALL APPLICABLE
- THE LOCATIONS OF DOSTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN CETERMINED FROM THE INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF TI CONTRACTOR, ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY, PRIOR TO THE START OF A CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS CURSINGUIDIN ALIMIT, III SANUL DE, INE, COMINDALINES RESPONSABILITI DE MARE ADMINISTRATOR PER PEDE LOCATIONS AND FOR ANY RELOCATIONS OF THE WANDOWS DOSTING UTILIZES WHITH THE UTILITY OWNERS, WHICH SIALL BE DONE IN A THICKY FARHON TO MINNEZ IMPACT ON THE CONSTRUCTION SCHEDALE, ANY DELAY OR RECOMMENDENCE CAUSED THE DONTRACTOR BY THE RELOCATION OF THE WARDLY UTILIZES SHALL BE MICROSTRU. TO THE COMPRICE AND KO CATINA. COMPENSATION WILL BE ALLOWED.
- CONPUTATION WILL BE ALLIESTED.

  ANY OVERTIMES TO CONSTROIN FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELLOW THE SURFACE OF THE GROUND, SHALL BE SHOULDN'T TO THE IMMEDIAL ATTENDED. OF THE SHOREDER AND DWINE ANY INVESTIGATION OF THE THE SHOREDER AND THE OFFICE AND THE OFFICE
- 10. AS PART OF THE CLEARING AND GRUBBING OPERATION, THE CONTRACTOR IS TO REMOVE ALL FENCING AND FOR EXISTING FACILITIES FROM THE SITE, CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE VISIT TO UNDERSTAND THE EXISTING CONDITIONS OF THE SITE. IF REMOVAL OF EXISTING FACILITIES IS NOT INCLUDED IN THE BASE BIO. THEN IT SHALL BE SPECIFICALLY IDENTIFIED.
- 11. CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
- IF AN EAGLE MANAGEMENT PLAN HAS BEEN FILED AND APPROVED BY FLORIDA CAME AND FRESHMATER FISH COMMISSION AND THE U.S. DEPARTMENT OF THE INTERIOR FISH AND MILDLIFE SERVICE. CONTROCTOR SHALL ABODE BY PERMIT.
- MAINTAIN MINIMUM 3' COVER OVER PROPOSED GRAVEY SANITARY, FORCE MAIN, WATER AND REUSE LINES, UNLESS OTHERWISE NOTED
- CONCRETE SIDEWALKS (AS SPECIFIED BY APPROPRIATE ROADWAY SECTION) ADJACENT TO ALL LOTS TO BE INSTALLED BY HOME BUILDER. SIDEWALKS ADJACENT TO PONOS, PARKS, AND OPEN SPACE, AS SHOWN ON PLANS. ARE TO BE CONSTRUCTED WITH INFRASTRUCTURE, ALL POND ACCESS TRACT SIDEWALK SHALL BE 6" MINIMUM
- DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ON TO THE SITE, ACCESS ROADS AND SUITABLE TEMPORARY OR PERMANENT SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMEN SHALL BE PROVIDED.
- ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNER'S SHALL BE REPORTED TO ENGINEER/OWNER/OWNERS REPRESENTATIVE PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT HE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
- CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD, CONTRACTOR SHALL BECOME FAMILIAR WITH AND CONFORM WITH ALL TREE PROTECTION/PRESERVATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT, CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT AND MITIGATION COSTS FOR ANY TREES REMOVED THAT WE'RE DESIGNATED TO BE PRESERVED.
- 18. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE
- CITY, COUNTY, OWNER, INVOLVED LITLITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES. CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SLOPES AND INVERTS OURSING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADMISE ENGINEER OF ANY DISCREPANCIES.
- 20. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS OR AS APPROVED BY ENGINEER/OWNER IN WRITING
- NOMERON AFTERNAL PRUZEZO DE LA PAPENÇÃO DE PROMERÇÃONER EN HORTING.

  ALL POTO DESSIÓN MINISSE ARE LEMBER PLOGORDONATO ÀS PLAN RESERVACES INSTIN. CONTRACTOR IS
  RESPONDED.Z. FOR OBTANNO CONFLICT. COPIES OF ALL APPLICÂDE NOON GONDATOS AND
  CONSTRUCTOR ALL NORMS IN CONFIDENCIA WITH THE POOT NOMERNA AND TRAFFIC STRUMON
  PARK, LITEST CONFIDENCIA.
- 22. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAME AND CHECK ALL IMPROVEMENTS TO ENGURE ADDILATE POSITIONING, BOTH HORIZONTAL AND VERTICAL PRIOR TO THE INSTITUTION OF ANY IMPROVEMENTS.

Exhibit No. 2.0

- 23. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORCE BY A FLORIDA-LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S SOLE EXPENSE
- MMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, REUSE, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL, SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON
- 25. CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PROVIDING CONSTRUCTION TESTING TO PROVIDE POULOS & BENNETT WITH COPIES OF ALL SITE-WORK TEST REPORTS AS THE ARE GENERATED, CONTRACTOR SHALL MAINTAIN THE RESPONSIBILITY OF DONSTRUCTING THE PROJECT IN STREET ACCORDANCE WITH THE PROJECT PLUNS, SPECIFICATIONS AND REQUIREMENTS, RECEIPT OF COPIES OF GEOTECHNICAL REPORTS BY FOULDS & BEINETT IN ANY OBLIGATES POLICIES AND ANY OBLIGATES AND ANY OBJECT AND ANY OBLIGATES AND ANY OBLIGATES AND ANY OBJECT AND A BENNETT TO ANY REVIEW, COMMENTS OR ACTIONS REGARDING THE WORK.
- CEMERTER IS NOT MELICENCE, WARRESTER OF MENTIONS RECOGNISTS IN TROUBLE IN CONTROL IS REQUIRED, THEM DISCHARGE OF GROUNDWINER FROM DEMANERS DEPARTING REQUIRES, PROPOUR, FROM DEMANERS CONTROL FOR THE MENTION FROM THE APPLICABLE WARREST MANAGEMENT DISTRICT. THE CONTRICTOR'S SMALL BE RESPONSELL FOR DETAINING ALL DISTRICTS. TIS THE RESPONSELLY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOR SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 27. WORK SHALL BOOK TO THE COMMERCIAGEND CONSISTENCING.
  28. WORK SHALL BE DONE IN COMPLANCE WITH THE CACCUPATIONAL REALTH AND SHETY ACT THROUGH
  THE U.S. CIDENTIFICATION OF JUDIN AND THE RURGAL TERMEN SHETY ACT.
  28. ALL PESCHAMP, PROPERTY, DICHEM HALL GOOKS, WINNITH THE RURGH-OF-MAY THAT IS NOT RELOCATED
  BY THE PROCRESTY OWNER SHALL BE REJUNCID BY THE CONTROLOGY AS RECESSARY TO CONSTRUCT
  THE PROCRETY OF ACCORDANCE WITH THE PLANS. AND BLOOKS SHALL BRESS SHALL BE REJUCCIDED IN THE
  PROCRETY OF ACCORDANCE WITH THE PLANS. AND BLOOKS SHALL BRESS SHALL BE REJUCCIDED IN THE
  PROCRETY OF ACCORDANCE WITH THE PLANS. AND BLOOKS SHALL BRESS SHALL BE REJUCCIDED IN THE
  PROCRETY OF ACCORDANCE WITH THE PLANS. CONTRACTOR IN ACCORDANCE WITH FDCT DESIGN STANDARD 532.
- CONTRICTION IN AUXIONAMICE WITH FIGUL DESIGN STANDARD SEZ.

  THE INFORMATION STOPMEN OF THESE ORDINANCES CONCEINED TYPE AND LOCATION OF LINDERGROUND AND OTHER HITHIRES IS INSISTED ON ANALABLE RECICIOSES AND SERVICES BUT IS NOT CLARAMITED TO DE ACCUPANCE OR SELL-IN-CLUSIAN. THE CONTRICTION SHALL MAKE HIS OTHER LINDERMANTON AS TO THE TYPE AND LOCATION FOR "BUTLES AS MAY BE RECICESSARY TO ANDD DAMAGE RESIDED AND PROTECT DISTRING FAULTESS DEFINE CONSTRUCTION. THE CONTRICTION IS REPURSHEED FOR CONTRICTION FOR CONTRICTION. THE CONTRICTION IS REPURSHEED FOR CONTRICTION. THE CONTRICTION IS REPURSHEED FOR THE PROPERTY OF CONTRICTION OF THE CO
- 30. CONTRACTOR IS TO MANTAIN UNINTERFURTED ACCESS TO ALL DRIVERINS AT ALL TIMES AND IS TO MOTHLY PROPERTY CHIEFIES PIVE DAYS PRIOR TO STATTING CONSTRUCTION.
  31. SHOULD AGGRESSINE SOILS BE ENCOUNTERED CONTRACTOR SHALL MOTHY ENGINEER FOR REMEDIAL.
- IMPACTS TO OFFSITE ROADWAYS, IF ANY, WILL NEED TO BE REPAIRED IN ACCORDANCE WITH COUNTY REQUIREMENTS, IF REQUIRED, CONTRACTOR SHALL OFFAIN SURERY BOND. 33. LANDSCAPING WITHIN DANGER TREE/REMOVAL EASEMENT PER ORB 2593, PG 1488 SHALL BE LIMITED
- TO A MAXIMUM HEIGHT AT MATURITY OF 120 FT.
- NO EQUIPMENT EXTENDING HIGHER THAN 15 FT. ABOVE EXISTING GRADE SHALL BE USED WITHIN POWER EASEMENTS.
- THE ENSINEED AN LICENTING OF ANY CORPUSE OR INDESCRIBED UTLIFY USES. PRISS, OR STRICTURES SCHOOL OF THESE PLANE ARE GENERAL FOR FRANCHING SCHOOL OF THESE PLANE ARE GENERAL FOR FRANCHING STAND AND ENDANCE RESIDENCE OF THE CONTINUE OF THE C
- ANY WELLS SHOWN HEREON ARE THE WELLS LOCATED TO DATE AND DO NOT NECESSARIAN REPRESENT ALL WELLS ON THE PROPERTY. THE ENGINEER SHALL BE NOTHED OF ANY WELLS ENCOUNTERED DIRECTOR CONSTRUCTION. ALL WELLSHAMP-RESIGNATED TO REMAIN OR FUNCTION SHALL BE PROPERTY SEALED AND ASMNOONDED FOR APPLICABLE AGENCY REQUIREMENTS.
- VIBRATORY COMPACTION METHODS SHALL NOT BE USED WITHIN ANY EXISTING GAS EASEMENTS.
- ALL LIGHT POLES AND STRUCTURES TO BE LOCATED IN THE FIELD BY SURVEYOR RETAINED BY CONTRACTOR.
- THE CONTROLLER SECTION BY THE STATE AND/OR LOCAL ENGINEER.

  INCLUDING BUT NOT LIMITED TO, PEEPS, LOOP SENSORS, PULL BOXES, CONDUIT, TRAFFIC SO, AND CABBRETS. ANY ITEMS DAMAGED BY THE CONTRACTOR WILL BE RESTORED TO THEIR ORIGINATION UNLESS OTHERWISE AGREED UPON BY THE STATE AND/OR LOCAL ENGINEER.
- ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODOED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" PROW PAYMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- ALL EXISTING EASEMENTS PROVIDE OF WAY, AND LOT LINES WAY NOT HE SHOWN. BETTE TO THE ALTA/NSPS LAND TITLE SURVEY, BOUNDARY SURVEY OR TITLE WORK FOR ASSOCIATED ENCUMBR 42 SUBDOUNDING DEVELOPMENT AND ELEVATIONS WERE DETERMINED ERON DESIGN DRAWINGS AS LISTED
- THE SURVEYOR SECTION. CONTRACTOR TO FIELD VERIFY ALL ELEVATIONS PRIOR TO CONS AND NOTIFY ENGINEER IF DEFERENT
- 43. PROJECT WILL BE COMPLETED IN 1 PHASE IN ACCORDANCE WITH THE COMMERCIAL DESIGN STANDARDS SET FORTH IN THE CRANGE COUNTY CODE. 44. SIGHT LINES SHOWN ON THE PLANS SHALL BE WANTARRED WITHIN THE TRIANGLES BOTH HORSZOHTALLY AND VERTICALLY FROM 30 INCHES TO FIGHT FEET IN HIGHT. ALL VERTICAL STIE IMPROVEMENTS SHALL BE REMOVED OR REPOY LICEAR FROM TRIANGLES.
- ALL MECHANICAL EQUIPMENT LOCATED OUTDOORS, SUCH AS HEATING, VENTILATION, AIR CONDITION
- REFRIGERATION SYSTEMS, AND TRANSFORMERS SHALL BE VISUALLY SCREENED FROM ADJACENT RIGHT-OF-WAY PER ORANGE COUNTY REQUIREMENTS. ENGINEER ASSUMES NO LIABILITY FOR VERTICAL IMPROVEMENTS. FURTHER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE VERTICAL ELEMENTS DO NOT CONFLICT WITH INPROVEMENTS SHOWN
- DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE ORANGE COUNTY CONSTRUCTION STANDARDS AND DETAILS AND/OR "HIE DEVAILS SHOWN HEREIN.
- 48. STORAGE OF MATERIALS ONSITE SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF GRANCE
- 49. EQUIPMENT AND CONCRETE WASH DOWN AREAS SHALL BE LOCATED AND MAINTAINED PER DRANGE COUNTY REQUIREMENTS.
- ROOT DAWS (DONNSFOURS) FROM THE BUILDING SHALL BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM. BUILDING CONTRACTOR SHALL MAKE CONNECTIONS TO THE \_\_\_\_\_ TOWNMAKE FIRE STUDY AT STRUCTURES/STUDE-OUT PRESS. ENGINEER RECONNECTIONS AN AIR CAP BETWEEN ROOF DRAIN DONNSFOUR AND INCET CONNECTIONS.
- POOL CONTRACTOR SHALL CONNECT THE POOL SIDE SHOWER DRAIN TO THE \_\_\_\_ STUB PROVIDED AS
- 52. DISCHARGE FROM THE POOL OR POOL EQUIPMENT SHALL BE CONNECTED TO THE (SANTARY SEWER LATERAL/STORM DRAIN - DEPENDING ON JURISDICTION). NO DISCHARGE INTO THE (SANITARY/STORM) SYSTEM IS ALLOWED.
- A FIRE DEPARTMENT ACCESS ROAD SHALL BE PROMOTED AT THE START OF THE PROJECT AND MAINTAINED PHRODOHOUT CONSTRUCTION SHOULD BE PROVIDED AT THE SOUND OF THE PRODUCT AND MAINTAINED PHRODOHOUT CONSTRUCTION SHOULD BE MAINTAINED WITHIN THE TRANSCES BOTH HORZOWFALLY AND VERTICALLY FROM 30 INCHES TO BIGHT FEET IN HEIGHT, ALL VERTICALLY FROM TRANSCES.
- MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE APPROVED 55. CONTRACTOR TO MAINTAIN ALL EXISTING SIDEWALKS OPEN DURING CONSTRUCTION, OR A SAFE, ADA
- COMPLIANT, TEMPORARY APPROVED PEDESTRIAN PATH SHALL BE PROVIDED UNTIL THE SIDEWALK CAN BE RECPENED
  - RETAINING WALLS SHOWN HEREON ARE TO BE DESIGNED BY OTHERS. ENGINEER ASSUMES NO LABBLITY FOR DAMAGE OR FAILURE OF CIVIL IMPROVEMENTS CAUSED BY FAILURE OF WALLS WHETHER

- DIRECTLY OR INDIRECTLY. ENGINEER RECOMMENDS GEOTECHNICAL CONSULTANT REVIEW SITE CONDITIONS TO DETERMINE IF A GLOBAL STABILITY ANALYSIS FOR RETAINING WALLS IS APPROPRIATE, 57. MANHOLE LIDS, VALVE COVERS AND CLEAN-CUTS LOCATED IN TRAVEL LAMES SHALL BE TRAFFIC
- IN ORANGE COUNTY PRIOR TO THE START OF LAND DISTURBING ACTIVITIES, WHICH INCLUDES DEMOLITION, EARTHWORK AND/OR CONSTRUCTION, THE DEVELOPER/CONTRACTOR SHALL PREPARE A STORMWATER POLITION PROGENTION PLAN (SWPPP) AND SIRVET TO THE FLORIDA DEPARTMENT OF STORMANDER POLICITION PREVENTION PLAN (SHAPPP) AND SUBMIT TO THE FLORENA DEPARTMENT OF BANRONMENTAL PROTECTION (FDEP) A NOTICE OF INTENT (NO.) TO DETAIN COVERAGE UNDER THE NIPDES GENERIC PERMIT FOR STORMANDER DESCHARGE FROM LARGE AND SAULL CONSTRUCTION ACTIVITIES (COP) PURSUANT TO THE REQUIREMENTS OF 62-621.300(4)(A) F.A.C. A COPY OF THE NO. SHALL BE SUBMITTED TO THE OPERATOR(S) OF THE MS4, COPIES OF THE SWPPP, NOL AND FDEP ANNUE DE SOBBIETION TO THE VERDONOUS OF THE BISS. OVER DE YELD WE BEFORE YELD AND AND ANNUE WANDEL WHOM REQUEST, WON COMPLETION OF ALL UND DISTURBING ACTIVITIES AND AFTER PINAL STABILIZATION OF THE SITE IS COMPLETE, HIE DEVOLOPE/CONTRACT SHALL, SUBBIET TO POPP A NOTIFIED TERMINATION (NOT) TO END THEIR COVERAGE UNDER THE COP AND PROVIDE A COPY OF THE NOT TO

THE OPERATOR(S) OF THE MS4.

- MULLIBULES.

  THE CONTRACTOR SHALL SUBNIT A CERTIFED SET OF RECORD GRAMMICS TO THE ENCINEER. THE CONTRACTOR SHALL BE RESPONSEDE FOR RECORDING HEFORATION ON THE APPROVED PLANS CONCURRENTLY WITH DOCKSTRUCTION PROGRESS. RECORD DEPRAYERS SUBJECTED TO THE ENDIRECT REPORT OF THE PROJECT ACCOPTANCE SHALL COUNTY WITH MUNICIPALITY RECURRENCY AND THE FOLIABLE AND THE FOLI
- 1.1. THE VERTICAL AND HORIZONTAL DATUMS USED SHALL BE AS STATED ON THE DRAWINGS
- 1.2. DRAWINGS SHALL BE LEGISLY MARKED TO RECORD ACTUAL CONSTRUCTION. 1.3. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDERGROUND AND ABOVE GROUND STORM DROWNINGS SHALL SHOW ACTUAL LUCKHOOM OF ALL UNGLIGHTOUTH AND ABOVE GROUND STORM OF DOWNING, FORDER WATER AND WASTERNITER PHONG, AND RELIZED APPURENDANCES, ALL CHANGES TO PEPING LOCATION INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AND APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMINIENT SHAFFACE IMPROVEMENTS. BRAWNINGS SHALL ASSO SHOW ACTUAL INSTALLED PIPE MATERIAL, CLASS, ETC.
- 1.4. DRAWINGS SHALL CLEARLY INDICATE VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER MAIN AND STORM DRAINAGE/SANITARY SEWER/RECLAIMED WATER HAINS AT POINTS OF
- CROSSING IN ACCORDANCE WITH FDEP CRITERIA AND LITHIUTY PROVIDER REQUIREMENTS. 1.5. DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.
- 1.6. DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS, BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPMIG RELOCATION SHALL BE CLEARLY
- 1.7. LOCATION OF ALL INLETS, MANHOLES, HYDRAMIS, VALVES, AND VALVE BOXES SHALL BE SHOWN. ALL VALVES SHALL BE REFERENCED FROM AT LEAST TWO AND PRESTRAILY THREE PERIMANENT POINTS OR BY STATE PLANE CORROBINATES OR OTHER UTILITY PROVIDER ACCEPTABLE. REFERENCE.
- DIRECTIONS BETWEEN ALL DILETS AND MANHOLES SHALL BE FIELD VERFIED, AND THE INVERTS AND GRADE ELEVATIONS OF ALL INLETS AND MANHOLES SHALL BE SHOWN.
- 1.9. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR POND GRADING, AS-BUILT POND CONTOURS SHALL BE PROVIDED AT TOP OF BANK, POND BOTTOM, AND ALL CRADE BREAKS AND ELEVATIONS SPECIFIED ON THE PLANS, CONTRACTOR SHALL BE RESPONSIBLE FOR RE-CRADING POND SLOPES THAT ARE STEEPER THAN REQUIRED FER PLAN (HORIZONTAL-VERTICAL) TO A DEPTH OF 2 FT MONAHUM BELOW THE SLWT.
- 1.10. WHERE THE POTABLE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, WHERE THE PURPLE WHERE MAN CHASSES DIFFER UILLIES SIDINGS, CONTINCTORY SHEET, FOREIXAMI AND RECAMBLE WHERE, THE CEPTIFED A-BUILD DOWNERS SHALL CLEARLY BODGALE THE CONSTRUCTED ELEVATIONS, ALONG WITH PHOTOGRAPHS OF EACH CROSSING, IN SUCH A WAYT THAT THE VERFORM, DEPARTION DETERMENT THE WATER MAN AND OTHER UTURINES MAY BE VERSIED BY THE DISABLER, FALURE TO PROMOR THIS BYTOMACION WILL RESULT IN THE CORRECTOR DOWNATION AND SUMPRISHING THE UILLIES AT THE CONTRICTORS SALE.
- 1.11. WHERE THE POTRILE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAMTY SERVER, FORCEMAN AND RECAMBLE WATER), THE CRETIFIED AS FAULT DRAWNINGS SHALL CLARALY MIDICALE HE (COCKIDUS OF PER JOINTS IN SUCIAL A MANNER, AS IN DEMONSTRATE HE PER S CENTRATED AT ALL THE CROSSING. FALURE TO PROMOE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT THE CONTRACTOR'S SOLE
- EMPOISE.
  WHIDTE UPGRADED PIPE MATERIALS ARE SHOWN IN THE PLANS OR AS DIRECTED IN THE PI BY THE ENGINEER OR MUNICIPALITY, THE LENGTH, LOCATIONS, FITTINGS, ETC. FOR UPGRAL PIPE SHALL BE SHOWN ON THE AS-BUILT DRAWINGS, RECORD DRAWINGS OR PHOTOS. 1.13. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR ALL PARK AND OFEN SPACE TRACTS GRADING. ENGINEER WILL CONFIRM COMPLIANCE WITH AGENCY REQUIREMENTS AND NOTIFY CONTRACTOR IF REMEDIAL ACTION IS NECESSARY.
- CONTRACTOR TO PLACE GRADE STAKES AT CENTER OF FRONT AND REAR LIMITS OF EACH BUILDING PAD FOR OWNER/ENGINEER INSPECTION AND APPROVAL
- COMPLETE CERTIFIED AS-BULT DRAWINGS SHALL BE PROVIDED TO THE ENGINEER PRIOR BACTERIOLOGICAL TESTING. FAILURE TO PROVIDE ACCURATE DRAWINGS MAY RESULT IN EXPIRED TO RESULTS AND REQUIRE ADDITIONAL TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- AS-BUILT DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH POULOS & BENNETT CAD STANDARDS POTABLE WATER CROSSINGS - POULOS & BENNETT REQUIRES THAT AT LEAST TEN PERCENT (10%) OF THE POTABLE WATER CROSSINGS AND INSTALLATIONS BE FIELD VERIFIED BY POLICE & BEN STAFF, THE TOX TO BE FIELD VERIFIED WILL BE IDENTIFIED BY POULDS & BENNETT PRICE TO CONSTRUCTION AND PROMOTO TO THE SITE CONTRACTOR.
- DRANCE COUNTY COMPLETE AS-BUILTS AND ASSET TABLES, MEETING OCU MANUAL OF STAN AND CONSTRUCTION SPECIFICATIONS (DATED APRIL 2011), SHALL BE PROVIDED TO POULDS & BENNETT FOR REVIEW AND APPROVAL PAY APPLICATIONS REQUESTING PAYMENT BEYOND 80% OF CONTRACT AMOUNT, PER SYSTEM, MAY BE HELD AT THE DISCRETION OF THE OWNER UNTIL THE AS-BUILTS AND ASSET TABLES ARE DEFINED COMPLETE BY PIXLUS & HENNET
- CONTRACTOR SHALL PROVIDE ELEVATIONS OF THE ADA RAMPS, LANDINGS AND CROSS-WALKS AT SUFFICIENT LOCATIONS TO DETERMINE ADHERANCE TO THE ADA GUIDELINES.

#### SURVEY AND CONTROL:

- EXISTING TOPOGRAPHY AND CONTOURS BASED ON THE FOLLOWING: SURVEYOR: ALLEN & COMPANY
- SURVEYOR'S REFERENCE VERTICAL BENCHMARK: DESCRIPTION: ORANGE COUNTY BENCHMARK NUMBER LB6723
- ELEVATION: 81.63 (NAVD 1988) SITE TEMPORARY VERTICAL BENCHMARK
  - CONTACT ALLEN & COMPANY FOR INFORMATION

BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF THE SURVEY, CONTRACTOR SHALL VERIEY ITS CORRECTNESS AT TIME OF CONSTRUCTION

- JOINTS FOR CONCRETE SLABS WHERE NOT DTHERWISE PROVIDED
- GENERAL, A JOINTING PLAN SHALL BE PREPARED BY THE CONTRACTOR & APPROVED BY THE ENGINEER PRIOR TO PLACEMENT OF THE CONCRETE.
  - A, A SQUARE JOINTING PATTERN IS REQUIRED WHERE POSSIBLE, IF NECESSARY, RECTANGULAR

- PANELS CAN BE USED IF THE LONG DIMENSION IS MORE THAN 1.5 TIMES THE SHORT (e.g. B x 12"). JOINT SPACING SHALL NOT EXCEED 10 FEET IN A 4" SLAB, & 15 FEET IN A 6" SLAB x 12), JOHN SYNCHING SMILL NOT SCIZED TO HELT IN A 4" SUME, & 15 HELT IN A 6" SUME, B. ALULES JOINTIES (ANDULI OR LOCADIONS OF MANDLES, CATCH — BROWN, FOUNDMONTHOS & CITHER BUILT — IN STRUCTURES SO THAT JOINTS WILL LINE UP WITH CORNERS OF THE STRUCTURE. JOINTS MAY DE ANALED TO POINTS OF STRESS CONCENTRATION TO ALLOW AUGMENT WITH CORNERS OF STRUCTURES.
- CONSTRUCTION/CONTROL JOINTS -- ANY LARGE AREA OF CONCRETE SHALL BE PAVED IN STRIPS OF CONSTRUCTOR/CONTRICT, AND THE CASES, AREA OF CONVENEES SMALL BE FARED IN STRIPS OF LIMES, DICH HAME SEPARATED OF A ROTEO DOCUMENT/CONTRICT, LORN LLA, PRANSIG LARGES SHALL BE SUBMINDED BY LATERAL KIETE COURTS RUNNING CONTRICULSILY PERPENDICULAR TO PANNIG STRIPS SPACED TO ALLOW SCAME PROMISTING SCHIENTS. CONSTRUCTION/CONTRICT, JOHNS MUST PROVIDE (CAD. TRANSFER WITH KIETE) JOHN'S & STEEL REPORTING OWIGES. CONTRIVING BYO ADJOINING SLABS.
- A CONSTRUCTION/CONTROL COINTS MAY BE HAND TOOLED WITH MAY 0.25 INCH. DADIES
- CONTROL JORITS -- CONTROL JOINTS ARE SET IN THE CONCRETE SLABS TO PRE-- ESTABLISH THE LOCATION OF CRUCKS CAUSED BY DRYING, SHRINKAGE, OR THERMAL CHANGE A CONSTRUCTION JUNIT AS BESCHIELD IN NOTE 2, ABOVE IS BY DEPINITION JUSTO A CONTROL JOINTS. DESCRIBED BLOW MAY BE USED TO REPLACE KEYED CONSTRUCTION JUNITS FOR LATERAL JOINTS PERPENDICULAR TO PAVING LANES IF APPROVED IN WRITING BY THE ENGINEER.
  - A DEPTH OF CONTROL JOINT SHALL BE ONE FOURTH OF THE TOTAL SLAB THICKNESS (e.g. 1.5" FOR 6" SLAB).
  - B. CONTROL JOINTS SHALL BE FORMED BY HAND WITH 0.25 INCH RADIUS TOOL OF IF APPROVED BY ENGINEER, FORMED BY SAMING, SAMING OF JOINTS SHALL BEGIN AS SOON AS THE CONCRETE HAS HURDENED SUFFICIENTLY TO PERMIT SAMING WITHOUT PAVELING.
- ISOLATION JOHNS THESE ORISTS NAME USED TO GOUNT SHIRLDING THROUT PAYELING, ISOLATION JOHNS THESE ORISTS NAME USED TO GOUNT SHILDING TO POUNDTRINGS, SIDEMALIS, DRIANS, LIDIT IN SICH BISSS, AR RECHARMS WALLS LEARNING THE SLABS FREE TO MOVE MORECONTALLY ANY EXPERIENCY. THESE, CONTRIS SHILL EXPEND THE FULL DEPTH OF THE SLAB & SHALL NOT ALLOW ANY LOAD TRANSFER ACROSS THE JOHN.
  - A. ISOLATION JOINTS RETWEEN SLARS AT SOME GRADE SHALL RE FORMED WITH 0.25 INCH THICK NEOFRENE OR 0.50 INCH THICK ASPHALT IMPREGNATED FIBER FILLER WITH HYDROCARBON RESISTANT ELASTOMERIC FILL MATERIAL AS SEALER, ALL EDGES TO BE HAND TOOLED WITH MAXIMUM D.5D INCH RADYUS.

- CONTRACTOR SHALL REMOVE ALL WASTE MATERIAL FOR DISPOSAL OFF-SITE, DISPOSAL SHALL CONFORM TO ALL APPLICABLE REGULATIONS
- EXISTING UNDERGROUND UTILITIES. UNLESS OTHERWISE NOTED, WAY HE CAPPED/PLUICGED AND ABANDONED IN PLACE EXCEPT WITHIN 3D FT, OF BUILDING, CAPPED AND PLUGGED PIPE ENDS SHALL BE ENCASED IN CONCRETE, 6° MIMMUM THICKNESS AROUND PIPE. MANHOLE BASES MAY BE LEFT IN PLACE PROVIDED THAT PIPE OPENINGS ARE PLUGGED AND REMAINING BASES ARE FILLED WITH CONCRETE 6" MINIMUM ABOVE HIGHEST INVERT.
- ANY MATERIALS CLAUMED AS SALVAGE BY DINNER EITHER IN THE FIELD OR IN THE DRAWINGS SHALL BE STOCKPILED FOR OWNER'S REMOVAL.
- CONTRACTOR SHALL BE KNOWLEDGEABLE OF THE CONSTRUCTION DOCUMENTS AND BE RESPONSIBLE FOR PROTECTING ANY EXISTING FACILITY SO DESIGNATED OR DESIGNATED TO BE USED IN THE WORK. CONTRACTOR SHALL REMOVE ALL FOUNDATIONS, CONCRETE SLABS, AND UNDERGROUND STRUCTURES
- EXISTING ON THE SITE AT THE TIME OF BIDDING UNLESS OTHERWISE DIRECTED. CONTRACTOR SIMAL COORDINATE WITH APPLICABLE UTILITY COMPANIES AND BE RESPONSIBLE FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL UNDERSOUND AND ABOVE-GROUND UTILITY SERVICES EXISTING AT THE TIME OF BIDDING UNLESS DIRECTED TO BID OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND

#### ADA NOTES:

- THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE ( COMPLETION, DROP CURSS, STRIPING AND HANDICAP RAMPS AT ALL INTERSECTIONS OF SIDEWALK WITH THE PROPOSED PAVEMENT TO NEET STATE OF FLORIDA ACCESSIBILITY CODE AND FEDERAL A.D.A.
- PAYEMENT GRADES OVER HANDICAPPED PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION EXCEPT AT RAMPS. (NOTE: RAMP LENGTHS MAY EXCEED 6 FEET.)
- PROPOSED AND EXISTING SIDEWALKS SHALL BE HAMPED FLUSH WITH PAVEMENT, RAMPS SHALL NOT EKCEED SLOPES OF 12 HORIZONTAL TO 1 VERTICAL (NOTE: RAMP LENGTHS REQUIRED MAY EXCEED 6
- WHERE SIDEWALK RAMPS CONNECT TO MIAMI CLIER. THE SLOPE OF THE MIAMI CLIER SHALL DE MO STEEDER THAN 12:1 TO CONFORM WITH FLORIDA/FEDERAL REQUIATORY REQUIREMENTS, TWO FT.
  CURB TRANSITIONS SHALL BE USED AT EACH SIDE OF THE RAMP.
- WHERE RAMPS ARE POURED ADJACENT TO EXISTING MIAMI CURB, THE CURB SHALL BE REMOVED, FOR A DISTANCE EXTENDING TWO FT. BEYOND EACH END OF THE WALK AND RECONSTRUCTED.
- SIDEWALK RAMPS SHALL INCLUDE DETECTABLE WARNINGS THAT ARE TEXTURED IN CONFORMANCE WITH FOOT STANDAROS EXCEPT WHERE LODGL CODES DICTURE OF DIRENSES, COMPACTOR SHALL CORDINANTE WITH LODGL AUTHORITY FOR PER-POUR INSPECTION PRIOR TO JANY SIDEWALK AMOJOR RAMP CONCRETE POURS, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL RAME TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH
- LOCAL, STATE AND FEDERAL ADA AND FAIR HOUSING ACT STANDARDS CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR PRE-POUR INSPECTION PRIOR TO ANY SIDEMALK AND/OR CURB RAMP CONCRETE POURS.
- ALL MANHOLE, PULL BOX, UTILITY VALUE, VALVE, OR OTHER COVERS LOCATED WITHIN SIDEWALKS AND CROSSWALKS SHALL BE ADA COMPLIANT

#### SIGNAGE AND MARKING NOTES:

- ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", LATEST FDITTON
- ALL MARKINGS AND STRIPING ARE TO RE CHERMOPLASTIC/PAINTS AND SHALL RE APPLIED WITH MECHANICAL COUPMENT AND TEMPLATES AT THE LOCATIONS AND LENGTHS SHOWN ON THE PLANS (TWO COATS ALL LOCATION. COLOR SHALL BE WHITE, UNLESS OTHERWISE SPECIFIED, AND SHALL MEET ALL APPLICABLE REQUIREMENTS
- 3. ALL ACCESSIBLE (ADA) PARKING SPACES SHALL BE DESIGNATED BY APPROPRIATE PAYEMENT MARKINGS
- BLUE REFLECTIVE PAVENENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVEL LANE TO MARK THEIR LOCATIONS.
- REGULATORY SIGNS (STOP, ETC.) SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PANIM

01/05/2023 SERRETTO GRANGE CODERTS HO. DATE DES SUBMISSIONS/BEVISIONS MON NO: 21-100 DESIGNED BY:

5A/9L

N.T.S.

SCALE DV PERY: PACIA DRIVE APARTMENTS ORANGEWOOD

DRAWN BY

CHECKED SY:

N-2 PD

ORANGE COUNTY, FL.

CONSTRUCTION

NOTES





Poulos & Bennett 1.1.C 2602 E. Leungston St., Criando, FL 32803 Tel. 407.467.2594 www.poulotandberorett.c Eng. Boa. No. 28567 **Page 2 of 16** 

Permit No. 48-108279-P

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE OF FLORIDA ADMINISTRATIVE CODE 62-621.300 (2), 62-620, AND FLORIDA STATUTES CHAPTER 403.
- DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER PROVIDING PROJECT TESTING SHALL MONITOR CONSTRUCTION CONDITIONS AND PROVIDE RECOMMENDATIONS FOR ADDITIONAL ROADWAY UNDERORAINS AS NEEDED, ENGINEER SHALL BE NOTIFIED OF ANY SUCH RECOMMENDATIONS.
- AS NEEDED, LINGUILLE SYNCE BE NOTHER OF ANY SOUTH PRESENTED THE STATE OF THE NEEDED AND THE STATE OF THE STAT
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES, OWNER RESERVES THE RIGHT TO CHECK THE STAKENG AND ROPING AND REQUIRE IT 10 BE RELOCATED IF RECESSARY, IT SHALL REMAIN IN PLACE LINIT, LAMACHY CONSTRUCTION IS COMPLETE.
- RECULATORY SIGNS (STOP, ETC.) SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAYING AND
- RECOLUMINATE SHORTS (STOP), ETC.) SHARED BE IN PLANCE PROPERTO FINAL INSPECTATION OF PARTICULAR DEPARTMENT OF PARTMENT OF PARTICULAR DEPARTMENT DE STRUCTURES AND FROM INVERTS OF ENDWALLS AND/OR MITERED END SECTIONS. BIDDERS SHALL
- ADJUST FOR PIPE LENGTHS WHEN BIDDING MITTERED END SECTIONS. CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS, TRACTS OR MEDIANS. WHERE SUCH TREATMENT DOES OCCUR, IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOILS ACCEPTABLE TO OWNER'S LANDSCAPE ARCHITECT.
- 10. ALL PAVEMENT RETURN RADII SHALL BE 25' AND MEASURED FROM THE INTERFACE TO THE CONCRETE CURB AND PAVEMENT SURFACE UNLESS OTHERWISE HOTED.
- 11. SITE DRAONS, PANNE AND BRANAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRODE CONSTRUCTION, LATEST EDITION.

  12. STORM DRAWS SHALL BE REINFORCED CONDRICE PIPE, PER ASTM C-76 CLASS III, UNLESS
- OTHERWISE SPECIFIED, LIFTING HOLES ARE PROHIBITED.
- UNDERDRAIN, IF ANY, SHALL BE HEAVY-DUTY CORRUGATED POLYET-LENE PIPE WITH FACTORY-INSTALLED FILTER FABRIC AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS (ADS), OR APPROVED FOUND.
- UNDERDRAIN DISCHARGE PIPE, IF ANY, SHALL BE PVC PER ASTN 03034 SDR 35 WITH ELASTOMERIC
- 15. YARD DRAINS, IF ANY, SHAUL BE MYOPLAST INLINE DRAINS AND DRAIN BASINS AS APPLICABLE WITH CAST IRON GRATES AND WATERTIGHT ADAPTER CONNECTIONS (OR APPROVED EQUAL).
- YARO DRIAN PIPING: PVC CONFORMING TO ASTM D3034, SDR3S SHALL BE USED FOR ALL PIE RUNS. IN WHICH ARY PART LIES LINDER PARED ARRICA: SAID PVC ON HEAVY DUTY CORRUGATED POLYCETHIALDE MAY BE USED FOR ALL OTHER RANS. AMERIKA, SELECTION SHALL BE CONSISTENT. THROUGHOUT THE PROJECT.
- DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SECURED WITH CHAIN AND
- 18. FIVE (5) FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS AND
- THE LIMITS OF THE POND TRACTS SHALL BE SODDED FROM TRACT LIMITS TO 2' BELOW NOL. IN THE CASE OF DRY BOTTOM PONDS, THE BOTTOM WILL BE SEEDED AND MURCHED UNLESS OTHERMISE SPECIFIED.
- BLUE REFLECTIVE PAYEMENT MARKERS FOR ALL FIRE HYDRAMIS SHALL BE PLACED IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.
- 21. CONCRETE SIDEWALKS (AS SPECIFIED BY APPROPRIATE ROADWAY SECTION) ADJACENT TO ALL LOTS TO ISTALED BY HOME BUILDER, SIDEWALKS ADJACENT TO PONDS, PARKS, AND OPEN SPACE, AS AS TRACT ACCESS APRONS AS SHOWN ON PLANS, ARE TO BE CONSTRUCTED WITH
- 22. TOP ELEVATIONS OF MANHOLES IN GRASSED AREAS SHALL BE AT MINIMUM 4 INCHES ABOVE FINISH
- MINIMUM LONGITUDINAL SLOPE OF CURB SHALL BE 0.50% UNLESS SPECIFIED OTHERWISE.
- 24 IT SHALL BY THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION, FOR ADS STORM PIPE THE PIPE MANUFACTURER CONFIRMING THAT SUFFICIENT COVER HAS BEEN PROVIDED TO FLOTATION IN THE EVENT THAT ADEQUATE COVER IS NOT PROVIDED. IT IS TH CONTRACTOR'S RESPONSIBILITY TO OBTAIN DESIGN AND CONSTRUCTION SPECIFICATIONS FROM THE MANUFACTURER, FOR THE ADS PIPE ANCHORING SYSTEM. IF ADS STORM PIPE IS USED THEN MITERED END SECTIONS (MES) MAY BE SUBSTITUTED FOR FLARED END SECTIONS (FES) AT
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS TOURISH STRULL BE RESEARCHED FOR FORMSHING PROPERT HORFT BOWERS OF STRUCTURE OF STRUCTURES.

  CONTRACTOR SHALL HAVE THE PLAN PREPARED BY AN FOOT CERTIFIED DESIGNER AND SUBMIT
- 26. GEORECHNICAL SERVICES HAVE BEEN PROMOED AS REFERENCED BELOW, GEOTECH RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF POULOS & BENNETT. POULOS & BENNETT RELIED ON THE RELOW REFERENCED GEOTECHNICAL REPORT(S) IN PREPARATION OF THE DRAWINGS MAY CONFLICT BETWEEN INFORMATION WITHIN THE REPORT AND THESE DRAWINGS SHALL BE REPORTED TO ENGINEER/OWNER, POLICOS & BENNETT ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS OR ACCURACY OF GEOTECHNICAL INFORMATION.

GEOTECHNICAL ENGINEER: UNIVERSAL ENGINEERING SCIENCES, LLC

Exhibit No. 2.0

DATE (S): FEBRUARY 1, 2022

- 27. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAYEMENTS TO DRAIN POSITIVELY. INTERESCITIONS SHALL BE TRANSPORDED TO PROMDE A SAMOOTH DERWAY SURFACE WHILE MANIANAMO POSITIVE DRAINAGE, SHALL AREAS OF POOR DRAINAGE OF OSSENIED, DOWNSTORD SHALL NOTH'S THE EMCRACEN FROM TO PLACEMENT OF CURBS OR PAYEMENT COURSES, SO THAT RECOMMENDATIONS FOR RRECTION MAY BE MADE.
- 28. FINISHED FLOOR ELEVATION IS TYPICALLY 8" INCHES ABOVE DESIGN FINISHED GRADE AT OUTSIDE PERIMETER OF BUILDINGS EXCEPT AT ENTRIES AND WHERE OTHERWISE SHOWN
- 29. 100-YEAR FLOOD ELEVATIONS SHOWN HEREIN ARE DERIVED FROM (FEMA/FLOOD INSURANCE RATE MAP OF GRANGE COUNTY, COMMUNITY PANEL \$12019SC041SF, DATED 9/25/2009).
- 30. ALL DISTURBED FOOT, CITY AND COUNTY RIGHTS OF WAY SHALL BE RESTORED. SOO SHALL BE PLACED FROM EDGE OF PAYEMENT TO THE TOE OF BANK AND ALL AREAS SHALL MATCH OR EXCEDI PRECONSTRUCTION CONDITIONS. CINICULA CLOOP DEPUTIONS ARE MINIMUM DEPUTIONS REQUIRED TO SATISFY DRAINAGE AND/OR
- INISHED FLOOR ELEVATIONS AND MINIMUM ELEVATIONS TERMINATED TO STATE OF EULDING WALLS OF THE THREE TRANSPORT OF THE FINISHED FLOOR ELEVATIONS SHOWN.

  HALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN.
- 32. ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER OVER-EXCAVATION OF RETENTION BASIS SHALL NOT BE ALLOWED UNLESS SPECIFICALLY AUTHORIZED BY ENGINEER/OWNER, SHALL UNAUTHORIZED OVER-EXCAVATION OCCUR, IT SHALL BE BACKFILLED, RECRADED, RESOLDED AND/OR RESEEDED AS REQUIRED BY OWNER AT CONTRACTOR'S EXPENSE TO OWNER'S SPECIFICATIONS
- CONTRACTOR SHALL REMOVE ALL MUCK DEPOSITS IN CONSTRUCTION AREAS AND AREAS TO BE FILLED.

- ENGINEER RESERVES THE RIGHT TO WITHHOLD AUTHORIZATION FOR PAYMENT FOR ANY ROADWORK
  WHICH HAS NOT BEEN TESTED BY A FLORIDA-REGISTERED GEOTECHNICAL ENGINEER AND REPORTED
  TO CONTROM TO PROJECT SPECIFICATIONS.
- ROAD GRADING AND CONSTRUCTION SHALL INCLUDE BRINGING ANY LITELTY EASEMENTS, AS SH NOTED ON THE PLAT OR CONSTRUCTION DRAWINGS, ADJACENT TO THE RIGHT-OF-WAY LINE TO WITHIN 6 INCHES OF FINAL DESIGN GRADE, LOT GRADING REQUIREMENT MAY BE MORE STRINGENT.
- INLETS WHICH ARE GRAPHICALLY SHOWN ON LOT LINES AND NOT OTHERWISE (OCATED BY STATIONING SHALL BE LOCATED SUCH THAT THE CENTERLINE OF THE INLET TOP IS ALIGNED WITH THE LOT LINE.
- THE DRAINAGE MANHOUSES AND INTERS (NOT INCLIDING CONTROL STRUCTURES) IN THE PLANS ARE DIORINGE, MARHEUSES AND BREES (RICH INCLUDING CENTRICK, STRUCTURES) IN THE PLANS ARE DIORITICIDE OF TO THE OILLY, CONTROLOR SHALL PRODUCE STRUMAND OFFICE HOSTON BRIEF, J. OR P. STRUCTURE HOSTONIS, SEZED AS REQUIRED TO ACCOMMODATE PRE SEZES AND ORIENTATIONS SHOWN. ANY PROPOSED RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
- NEW PIPES SHALL HE CONNECTED TO EXISTING PIPES AT AN EXISTING FACTORY MADE JOINT, REMOVE PARTIAL PIPES IF AND AS NEEDED.
- 41: CONTRACTOR SHALL STARTUZE AND PROTECT ALL END WALL, MITERED END SECTION, FLARED END SECTION, ETC. STRUCTURES THROUGHOUT THE PROJECT LIMIT. THE BANK SLOPES OF THE RECEDING WATER BOOK ARE STABLIZED AND ACCEPTED BY OWNER.
- CONTRACTOR/BIODER SHALL OBSERVE OFFSITE ROADWAYS FOR FRICTION COURSE REDAVAL, AND RESTORATION RECOUREMENTS AND FOR LEVELING COURSE REQUIREMENTS WHICH SHALL BE INCLUDED IN THE BIO AND IN THE WORK.
- 43. THIS PROJECT WAS DESIGNED TO BE IN COMPLIANCE WITH DRANGE COUNTY, SPINID, FDOT, & FEMA THE DEGREE OF FLOOD PROTECTION AND SURFACE AND STANDARDS AND REQUIREMENTS. THE DESTREE OF FLOOD PROFILERIAN MAD SHIFTACE AND GROUNDWINDER PROFILERIAN REQUIREMENT OF THESE STANDARDS IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES AND IS DUESTION OF SCHOOL PROFILE CONCRIDE TO THE CONCRIDENT THE THE CONCRIDENT THE CONCRIDE RESULT FROM RELIANCE ON THESE STANDARDS OR ANY ADMINISTRATIVE DECISION MADE THEREUN
- (THE LITILITY NOTES BELOW ARE PROVIDED AS MINIMUM REQUIREMENTS AND ARE NOT INTENDED TO
- SUPERCEDE LOCAL GOVERNIENT AND AGENCY REQUIREMENTS)
  BUE WATER NOTES:

  (1) Has (1)
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH AWWA STANDARDS AND IN ACCORDANCE WITH LOCAL GOVERNMENT STANDARDS.
- PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN FITTINGS OF BRANCHES AND MAINS. DEFLECTIONS AT PIPE JOINTS SHALL NOT EXCEED THOSE RECOMMENDED BY THE PIPE MANUFACTURER.
- ALL GATE MALVES SHALL BE COMPRED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH COVER, WITH THREADED CAST BRONZE EXTENSIONS WHERE NEEDED.

  ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRAMIS, THAT WILL BE INSTALLED
- UNDER THIS PROJECT AND THAT WILL COME INTO CONTACT WITH DRINKING WATER WILL CONFORM TO HISF INTERNATIONAL STANDARD 61 AND WILL BE MARKED WITH THE HISF SEAL OF APPROVAL.
- ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED IN ACCORDANCE WITH SUB PARAGRAPH 62-555,320(21)(8)3, F.A.C. USING BLUE AS A PREDOMINANT COLOR, ALL DUCTILE IRON WATER MAINS SHALL BE MARKED WITH A CONTINUOUS STRIPE LOCATED WITHIN THE TOP 90 DECREES OF THE PIPE, SAID STRIPE SHALL BE A MINIMUM 2 INCHES IN WIDTH IND SHALL BE BLUE IN COLOR, BACKFILL SHALL NOT BE PLACED FOR 30 MINUTES FOLLOWING PART APPLICATION. FOR PIPE WITH AN INTERNAL DUALETER OF 24" OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES A LONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF
- ALL HON-METALLIC WATER MAINS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED 10 OCHPER WISE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR IDCATION PURPOSES. SEE STANDARD DEMANDES. IN ADDITION, ALL PIPE WATER MANS SHALL BE A SOUR BLUE COLOR, ALL LETTERNOS SHALL REPO NS IS ACCEPTABLE FOR THE INTENDED USE.

  SHALL REPO NS IS ACCEPTABLE FOR THE INTENDED USE.
- HORROSTAPE TESTING AND THE DESIRECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE DONE IN ACCORDANCE WITH THE ARMAN STANDARDS. HORROSTATIC TESTING TO BE DONE IN ACCORDANCE WITH AWAY. C-650 F DOR DETAILE FROM PIPE AND C-650 FOR PRO-PC DISTRIBUTION AND BIGGEROSTAPE WITH AWAY. C-640 F DONE DESIRECTION AND BIGGEROSTAPE WITH AWAY. C-651 AND RIALE
- MADE SEDIMOSS WITH BY HIGH PIECE OF 7" X A" PLANK PAINTED RITLE WITH LOT MUMBER CLEARLY SEED IN THE CHIRD IT IS THE BITENT THAT EVERY LOT IS CONSISTENT WITH A W IMPRESSED IN THE CONTRACTORS RESPONSIBILITY TO INSTALL A WATER SER
- 10. PIPE MATERIALS:

PVC JOINT - SHALL BE IN ACCORDANCE WITH ASTN 03139.

DUCTRE IRON - SHALL CONFORM TO ANSI/ANNIA C150/C151, A MINIMUM OF CLASS 50 PIPE SHALL

DUCTILE IRON JOINT - SHALL BE IN ACCORDANCE WITH ANSI A21.11 AND ANWA C111.

- SERVICES SHALL BE IN ACCORDANCE WITH AWWA CB01/CB00 STANDARDS FOR POLYETHYLENE TUBNIC, CLASS 160. 11. WATER WAIN CONNECTION SHALL BE MADE UNDER THE SUPERVISION OF LOCAL GOVERNMENT . ALL VALVES SHALL BE OPERATED BY LOCAL COVERNMENT PERSONNEL ONLY, WATERMAINS ARE TO BE
- DISINFECTED PER ANSI/AWWA C651-92 AND LOCAL GOVERNMENT STANDARDS VERTICAL SEPARATION BETWEEN UNDERGROUND POTABLE WATER MAINS AND SANTARY OR STORM SEWERS, WASTEWATER OR STORIGHATER FORCE MAINS, AND RECLAIMED WATER PIPELINESS
- SCHEID, WASTERNIEUS UIT STOMMINIET PURCE WARN, NOW EUCHDEL WICKEL PERCENT PER PROFESEL GRANTIF-DER OR REDICATE, UNDESPERCIONAL WARTER MAINS CRISSING MY EXEMITE PER PROFESEL GRANTIF-OR WALDIA-TYPE, SANTIAW SCHER DIR STORM SCHER SHALL BE LAID SO THE OUTSIDE OF THE WARTER HARN ES AT LEAST SOX ROCKES, NOW PEREFERHANDAM PHORES, ROCK OF AT LEAST 12 ROCKES BOLOW THE OUTSIDE OF THE OTHER PIPELINE, HOREVER, IT IS PREFERALLE TO LAY THE WATER MAIN AROVE THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF
- WATER WAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER WAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE ALTERNATIVELY, AT SUCH CROSSING THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE LINGSHING, THE PIPES BRULL OF ROWARDS 20 FIRM HAS THEM WAND WITH A THE SET FROM ALL JOINTS IN WALCHUM-PIPE SANITARY SEWERS, STORM SEMESS, STORMHER FRICKE MANNS, OR PPELLINGS CONNEYING RECLAUSE WATER REGULATED UNDER PART IN OF GAMPTER 82-81G. FAC, AND AT LEAST SIX FEET FROM ALL JOINTS IN GROWN-CAP RESIDENT-PIPE WATERY SEMESS, WISSTENMER FORCE MAINS, OR PPELLINES CONNEYING RECLAMED WATER NOT RECULATED UNDER PART OF CHAPTER 62-610, F.A.C.
- HORIZONTAL SEPARATION BETWEEN LINDERGROUND WATER MAMIS AND SANITARY OR S WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND DR

NEW OR RELOCATED, UNDERGROUND WATER NAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE PEET BETWEEN THE CUTSIDE OF THE MATER MAIN AND THE CUTSIDE OF THE MATER MAIN AND THE CUTSIDE OF ANY EXISTING OR PROPOSED STORM SERVER, STORMWATER FORCE MAIN, OR PIPELINE CONVENING RECLAMINED WATER REGULATED WATE

RECUMBED WATER MEDICALED VINCEN PART IN IN CHAPTER DESCRIPTION OF A HORIZONT NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONT DISTANCE OF AT LEAST THREE FEET, AND PREFERRENCY TEN FEET, BETWEEN THE OUTSIDE OF TO WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM—TYPE SANTIARY SEMER.

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTA 

- ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.
- 15. A MINIMUM OF 3 FEET OF COVER SHALL BE MAINTAINED OVER WATERWAINS. UNLESS OTHERWISE
- ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL CONTAIN NO MORE B.O% LEAD AND ANY SOLDER OR FLOX USED IN THIS PROJECT SHALL CONTAIN NO MORE THAN 0.2% LEAD.
- 17 NEW OR ALTERED DEAD-END WATER MAINS INCLUDED IN THIS PROJECT SHALL BE PROVIDED WITH A FIRE OR FLUSHING HYDRANT OR BLOW-OFF FOR FLUSHING PURPOSES.
- NEW OR ALTERED FIRE HYDRANT LEADS SHALL HAVE A MINIMUM INSIDE DAMETER OF 6" AND SHALL
- IE ADDRESSNE SAN CONDITIONS ARE ENTIND DURING CONSTRUCTION WATER MAINS SHAPE IF ADDRESSIVE SON, CONDITIONS ARE FOUND DURING CONSTRUCTION, WATER MANS SHALL BE PROTECTED THROUGH THE USE OF CORROSCON RESISTANT MATERIALLY, THROUGH ENASEMENT OF THE MATER MAINS IN POLYETATIONE, OR THROUGH PROVISION OF CATHOOIC PROTECTION.
   A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE
- INSTALLED UNDER THIS PROJECT: BUCKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERFORMED PIPE INSTALLED UNDER THIS PROJECT AND TO A SUFFICIENT HEIGHT ABOVE THE FIRE AND LAYER OF A DECUMENT YOUNG STONES (AS RESORIBED IN APPLICABLE ANNA STANDARDS OR WANDFACTURERS' RECONMENDED INSTALLATION PROCEDURES)
  FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF A LEAST SIX INCHES BELOW THE BOTTOM
  OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
- CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND THE CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.
- CONTRACTOR SHALL COORDINATE ALL UTILITIES SYSTEMS TEST SCHEDULING TO ALLOW ENGINEER'S ATTENDANCE PROVIDING MINIMUM NOTICE OF FIVE (5) WORKING DAYS, CONTRACTOR'S FAILURE TO PROPERLY NOTIFY ENGINEER MAY RESULT IN RETESTING AT ENGINEER'S OPTION AND AT CONTRACTOR'S
- ENGINEER RESERVES THE RIGHT TO WITHHOLD AUTHORIZATION OF PAYMENT FOR ANY PORTION OF THE UTILITIES PIPE WORK WHICH HAS NOT BEEN TESTED (OBSERVED BY ENGINEER) AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
- 24. SITE CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONTRACTOR.
- CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR TET-INS. 26. CONCRETE CURBS SHALL BE CHISELED OR IMPRINTED TO SHOW LOCATIONS OF WATER AND SEWER
- CONTROL CORES STAND CONTROL SHALL CONTROL WHITE LOCAL STANDARDS. WHERE NO STANDARDS COST, USE THE FOR RECLANDO WATER, "A" FOR WATER, AND "S" FOR SHATLARY, FOR HOLDING WATER, AND "S" FOR SHATLARY, FOR HOLDING WATER, AND "S" FOR SHATLARY, CONTROL WATER, AND "S" FOR SHATLARY, CONTROL WATER, AND "S" FOR SHATLARY, CONTROL WATER AND THE SHALL BE CONTROL ON THE LOT LINES AND NOT OTHERWISE LOCALED BY STANDARD OR DIMENSIONING SHALL BE CONTRIBED ON THE LOT LINES.
- THE UTILITY NOTES BELOW ARE PROVIDED AS MINIMUM REQUIREMENTS AND ARE NOT INTENDED TO SUPERCEDE LOCAL COVERNMENT AND AGENCY REQUIREMENTS
- SANITARY SEVER NOTES: ALL MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM ACCESS DIAMETER
- OF 22 INCHES. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN MANHOLE CENTERUNES.
- ALL SANTARY SERVICE LATERALS SHALL BE 6 INCH DIAWETER PVC, LATERALS SHALL END WITH A CLEAN DUT AT RIGHT-DE-WAY LINE.
- INVERTIS OF SANITARY SERVICE LATERALS AT THEIR CONNECTION TO SANITARY MANHOLES SHALL BE NO MORE THAN ONE (1) FOOT ABOVE THE MANHOLE INVERTI.
- PRIOR TO PAYING, CONTRACTOR SHALL VERIFY THE AS-BUILT SANITARY SEVER PIPE SLOPES, MINIMUM SHALL BE IN ACCORDANCE WITH FORD MINDIAM CRITERIA BUILT FOR 8" PVC SEWER LINE SLOPE WILL BE 0.28%, FOR 12" PVC WILL BE 0.17% AND FOR 15" PVC WILL BE 0.12%. ANY LINE NOT MEETING MINIMUM SLOPE WILL BE RELAID BY CONTRACTOR TO MEET THE MINIMUM SLOPE REQUIREMENT AT NO ADDITIONAL COST.
- MARK LATERALS WITH 6' HIGH PIECE OF 2" X 4" PLANK PAINTED DRANGE W/ LOT NUMBER CLEARLY WARKED AND AN 'S' IMPRESSED IN THE CURB.
- LEAKAGE TESTS ARE SPECIFIED REQUIRING THAT:
- 4. THE LEAKAGE EXPLITATION OR INFILTRATION DOES NOT EXCEED 200 GALLONS PER INCH OF PIPE
- DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM. EXPLITATION OR INFILTRATION TESTS BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET.
- AR TESTS, AS A MINIADIM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C-828 FOR CAN PIPE, ASTM 0.924 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, AND FOR COTHER MATERIALS APPROPRIATE TEST PROCEDURES, AR TESTING, IF SPECIFIED FOR CONCRETE SEWER MAINFULSE, CONFORMS TO THE TEST PROCEDURES DESCRIBED IN ASTM C-1244.
- IDLE LIFT HOLES AND GRADE ADJUSTMENT RINGS BE SEALED WITH NON-SHRINKING MORTAR OR OTHER APPROPRIATE MATERIAL.
- INLET AND OUTLIET PIPES BE JOINED TO THE MANHOLE WITH A GASKETED FLEXIBLE WATER-TIGHT CONNECTION OF ANOTHER WATER-TIGHT CONNECTION ARRANGEMENT THAT ALLOWS DIFFERENTIAL SETTLEMENT OF ITS FIPE AND AMHARICE WALL.
- WATER-TIGHT MANHOLE COVERS BE USED WHEREVER THE MANHOLE TOPS MAY BE FLOODED BY STREET RUNOFF OF HIGH WATER.
- MINIMUM SEPARATION BETWEEN POTABLE WATER LINES AND SANITARY HAZARDS (SA FORCE MAIN, STORM SEWER, REUSE WATER) SHALL BE MAINTAINED. A HORIZONTAL CLEARANCE OF TEN
- ALL SANITARY SOWER PIPE SHALL BE COLORED GREEN.
   FIBERGLASS LINE ALL MANHOLES WHICH RECEIVE DISCHARGE FROM A FORCEMAN.
- 15. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SERVICES AT EACH LOT, SERVICES SHALL HAVE 3' MIN. AND 4' MAX. COVER AT LOT CLEAN OUT.
- THE UTILITY NOTES BELOW ARE PROVIDED AS MINIMUM REQUIREMENTS AND ARE NOT INTENDED TO

- ALL RECLAIMED WATER PIPES SHALL BE INSTALLED USING WATER PIPE CRITERIA. MAINS SHALL BE CLASS 52 DIP IF 24"-30" OF COVER IS PROVIDED AND CLASS 51 IF 30"-36" COVER IS PROVIDED
- PROVIDE 6" MINIMUM SEPARATION BÉTWEEN RÉCLAINED WATER AND STORM PIPES AND A WINIMUM O OF COVER OVER THE RECLAMED WATER MAIN, RECLAMED WATER WHEN LESS THAN 3' OF COVES ACHIEVED SHALL BE D.A.P. (COVER LESS THAN 3' IS ONLY ALLOWED AT SPECIFIC CROSSINGS APPROVED BY ENGINEER) PROVIDE MECHANICAL JOINTS AND FITTINGS AS NECESSARY FOR TH VERTICAL TRANSITIONS.
- THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75% OF THE PIPE MANUFACTURER'S RECOMMENDATION, A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE MAINTAINED, WHERE 18" CLEARANCE IS NOT POSSIBLE WATER AND RECLAIMED WATER WILL BE LIPCRADED TO D.I.P.
- WARK LATERALS WITH 5" HIGH PIECE OF 2" X 4" PLANK PAINTED PURPLE, AND AN R IMPRESSED I
- CASINGS WILL BE PROVIDED FOR SERVICÉS LOCATED UNDER LANDSCAPE MEDIANIS. ALL PVC RECLAMED WATER PIPE SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS. MARKET WITH THE SEAL OF APPROVAL OF THE NATIONAL SANITATION FOUNDATION (NSF) AND BE PURPLE I
- ALL DUCTILE IRON RECLAIMED WATER MAINS SHALL BE MARKED WITH A CONTINUOUS STRIPE LOCATED WITHIN THE TOP 90 DEGREES OF THE PIPE, SAID STRIPE SHALL BE A MINDMUM 2 INCHES IN WIDTH AND SHALL BE PURPLE IN COLOR. BACKFILL SHALL NOT BE PLACED FOR 30 MINUTES FOLLOWING
- PAINT APPLICATION. ALL NON-METALLIC RECLAIMED WATER MAINS SHALL BE INSTALLED WITH A CONTINUOUS. INSULATED 1 ONT-MOTIVATION RELIGIABLE MANUELS SHALL BE INSTALLED WHITH A CONTRIBUTION, INSOLATE C COPPER WINE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES ARD DRAWINGS. IN ADDITION, ALL PAC RECLAIMED WATER MAINS SHALL BE SOLID, PA
- ACCORDANCE WITH THE AWWA STANDARDS, HYDROSTATIC TESTING TO BE DONE IN ACCORDANCE WITH ANWA C-600 FOR DUCTRE IRON PIPE AND M23 FOR FVC PIPE.
- TOOL FOR OPERATION OF HOSE BIBBS AND OUTLETS.
- LOW TRAJECTORY MOZZLES ARE REQUIRED WITHIN 100 FEET OF ANY CUTDOOR PUBLIC EATING DRINKING OR BATHONG FACILITIES.
- 13. A RESIDENTIAL DUAL CHECK VALVE OR OTHER BACKFLOW PREVENTION DEVICE AS SPECIFIED BY TH SEMBER/RECLAMED WATER UTILITY COMPANY IS REQUIRED ON ALL POTABLE WATER LINES AT EAC RESIDENTIAL SITE WHICH IS SERVICED WITH RECLAIMED WATER.
- SIGNS SHALL BE POSTED IN THE VICINITY OF PUBLIC RECLAIMED WATER RECLAIMED WATER IRRIGATION SYSTEMS, ADMISING THE PUBLIC THAT RECLAIMED WATER IS PRACTICED.
- BOX COMERS FOR RECLAIMED WATER SYSTEM ELEMENTS (VALVES, METER, BFP's, ETC.) SHALL, TO THE EXTENT REASONABLE, NOT BE INTERCHANGEABLE WITH BOX COVERS FOR WATER SYSTEM ELEMENTS.
- RECLAINED WATER SYSTEMS AND POTABLE WATER SYSTEMS SHALL NOT BE CROSS-CONNECTED, AN AIR GAP OF TWO PIPE DIAMETERS IS REQUIRED BETWEEN SUCH WATERS.
- 17. THE WETTED EDGE OF AREAS BRIGATION WITH RECLAIMED WATER SHALL NOT BE CLOSER THAN 75 FEET TO ANY PUBLIC OR PRIVATE POTABLE WATER WELL.
- 18. NO RECLAIMED WATER TRANSMISSION FACILITY/MAIN SHALL BE WITHIN 75 FEET OF ANY PUBLIC WATER

#### FIRE PROTECTION NOTES:

- MAINS DESIGNATED AS FIRE PROTECTION SHALL BE SUSTAILED BY A FLORIDA LICEUSED FIRE TION CONTRACTOR AND REVIEWED FOR CONFORMANCE BY A LICENSED FIRE PRO
- FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF
- COMBUSTIBLES N INSTANCES WHERE THERE ARE NO FIRE HORBARTS IN CLOSE PROXIMITY TO PROVIDE FIRE PROTECTION, PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFFA-1, 16.4.3.1.3, UNDERGROUND WARTER MANN SAIL HORBARTS ARE REQUIRED TO BE PROVIDED SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- PER NFPA-1, 18.3.4.1, DURING CONSTRUCTION, CLEARANCES OF 7.5 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4-FOOT CLEARANCE TO THE REAR MUST BE PROVIDED AND MAINTAINED AT ALL TIMES.

#### HORIZONTAL GEOMETRY NOTES:

- THE BUILDING TIES GIVEN ARE FOR CONVENIENCE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS. BUILDING TIES ARE SHOWN TO THE OUTSIDE FACE OF THE BUILDING.
- CONTRACTOR SHALL STAKE ALL IMPROVEMENTS LISING THE ROAD CENTERLINE GEOMETRY AND RULDING COORDINATES PROVIDED IN THESE PLANS, CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT THE BUILDING IS CURRENT PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILIT THE BOLLOWING IS COMMENT PRIOR TO CONSTITUTION OF THE THE CONTROLLORS SIDE RESPONSIBILITY OF CONTROLLORS STATE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH ORIZONTAL AND VERTICAL PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT.
- BUILDING GEDWETRY AND LOCATIONS BASED ON THE FOLLOWING: ARCHITECT: SCOTT + CORMA ARCHITECTURE AND INTERIORS, LLC

#### DRAWINGS:

- CONTRACTOR SHALL YERIFY THE ACCURACY OF THE BUILDING GEOMETRY SHOWN WITH THAT IN THE FINAL ARCHITECTURAL DRAWINGS, PRIOR TO STAKE-OUT, AND SHALL NOTIFY OWNER AND ENGINEER
- MMEDIATELY OF ANY DIFFERENCES.
- ALL PARKING DIMENSIONS SHOWN ARE TO FACE OF CURB. LOCATIONS OF SANITARY AND DRAINAGE STRUCTURES ARE GIVEN AT THE CENTER OF THE BOTTOM OF
- ALL STORM PIPE LENGTHS ARE TO BE NEASURED TO CENTER OF DRAINAGE STRUCTURE OR TO TH END OF MITERED END SECTIONS.

NO. DAYS DESCRIPTIONS SUBMISSIONS/REVISIONS VERTICAL DATUM: 21-103 NOS NOS DRAWN BYS 纵性 CHECKED BY: APPRITYHOD BY-SCALE IN FESSO

PACI-DRIVE APARTMENTS ORANGEWOOD N-2 PD

ORANGE COUNTY, FL. CONSTRUCTION

NOTES

C0.11





- SHOULD CONSTRUCTION PLANS INDICATE ADS PIPE MAY BE USED, ENGINEER SHALL BE NOTIFIED OF SUCH BY CONTRACTOR PROOF TO MATERIAL ORDERING. ENGINEER SHALL BE PROVIDED WITH SPEEDFACHORS AND INSTITUTION METHODS PRIOR TO INSTIT
- WHERE AND PIPE IS USED AS AN ALTERNATE TO REINFORCED CONCRETE PIPE CONTRACTOR SHALL BIDS TO ENGINEER IN WRITING FOR REVIEW AND APPROVAL OF MATERIAL COST SAVINGS TO
- OWNER, ASS PIPE SMALL HOT BE USED IN MEISS OF HIGH GROUNDWITTER UNLESS PROPER AGS APPROVED MICHOGOS ARE USED TO MITIDATE FOR POTIDITHAL FLORITION MAD ALLOWEDT SHIPTS. AN AITHFRIESTED AND REPORTED SHALL WESTER IS JUSICA MERCE.

  PIPE, SMALL MEET ALL COORDINATE LOCAL MITIDATIFY REQUIREMENTS AS WELL AS THE FLIRIBAN PURPORTED SHALL SHOP ALLOWED AND AITHFRIESTED AND AITHFRIESTED AND AITHFRIESTED SHALL MEET ALL COORDINATIONS SHALL PROVIDE WRITTEN PROPOL OF ACCEPTANCE BY
- I DCAL COMERNMENT FOR PIPE USE.
- ADS PIPE PREMOUSLY STORED IN OUTDOOR CONDITIONS SHALL BE DISCLOSED TO ENGINEER FOR THIRD PARTY REVIEW OF PIPE PRIOR TO ACCEPTANCE FOR USE.
- ALL INSTALLED PIPE IS SUBJECT TO MANDREL TESTING PRIOR TO ACCEPTANCE.
- IN MUNICIPALITIES WHERE ADS PIPE IS NOT ALLOWED IN THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR MAY USE ADS PIPE IN PRIVATE, NON-PUBLIC AREAS WITH ENGINEER'S PERMISSION.
- PIPE 4" TO 44" (WHERE DESIGNATED) SHALL BE AUS HOPE H-12 SMOOTH INTERIOR POLYETH/LENE PIPE. AND HITHINGS SHALL BE MADE OF VIRGIN PE COUROUNDS WITH CONTROL WITH THE REQUIREMENTS OF CELL CASES 3244200 AND DETRIED AND DESCRIBED IN ASTIN DATES.
- REQUIREMENTS OF CELL CASS 324-402C AND DETWIND AND DESCRIBED IN ASINI 03350.

  THE HOPE TITRINGS SHALL NOT REQUIRE OR HAPINE THE OPENIL BITCHORY OF INCHIONION OF THE PPEL LINE. TITRINGS WAY BE CITHER MICHOLO OR FORBORIOTE. THE TITRINGS WAY BE CITHER MICHOLO OR FORBORIOTE. THE TITRINGS WAY BE STREAM TO HAPINE OR THE PROPERTY STATES AND HAPINE OR HELD AND THE PROPERTY STATES AND THE PROPERTY STATES AND AT THE ADMITSTANCE OR FOR THE PROPERTY STATES AND AT THE ADMITSTANCE OR FOR THE PROPERTY STATES AND AT THE ADMITSTANCE OR FOR THE PROPERTY STATES AND AT THE ADMITSTANCE OR FOR THE PROPERTY STATES AND AT THE ADMITSTANCE OR FOR THE PROPERTY STATES AND AT THE ADMITSTANCE OF THE PROPERTY STATES AND AT THE PROPERTY OF THE PROPERTY STATES AND AT THE PROPERTY OF THE PROPERTY STATES AND AT THE PROPERTY OF THE PROPER
- 10. PIPE SHALL BE INSTALLED BY A CONTRACTOR WHO HAS BEEN CERTIFIED BY ADS OR SHALL BE INSTRUCTED BY A CERTIFIED ACS REPRESENTATIVE TO DO SC.
- A REPRESENTATIVE OF ADS SHALL INSPECT FROM TIME TO TIME THE INSTALLATION OF THE PIPE
- 12. HP MANHOLE STRUCTURES WILL NOT BE ALLOWED FOR USE WITHOUT ENGINEERS PRE-AUTHORIZATION.

#### SCORE

THIS SPECIFICATION DESCRIBES 12- THROUGH 60-INCH (300 TO 1500 MM) ADS RP STORM PIPE FOR USE IN CRANTIY- FLOW STORM DRAINAGE APPLICATIONS.

- 12 THROUGH 30-INCH (300 TO 780 MM) PIPE SHALL HAVE A SMOOTH RITEMOR AND MANULAR EXTERIOR CORRUGATIONS AND MEET OR EXCEED ASTM 12736 AND AMSTRO M330
   36 THROUGH 60-INCH (300 TO 1500 MM) PIPE SHALL HAVE A SMOOTH BREIGHT AND ANNALI AD EYTEDYOD CORDUCATIONS AND MEET OR EYCSED ASTM 52881 AND AASHTD MASO
- . MANNING'S "N" VALUE FOR USE IN DESIGN SHALL BE 0.012

- 4 PIPE SHALL RE JONED WITH A CASKETED INTEGRAL RELL & SPICOT JOINT MEETING THE REQUIREMENTS OF ASTM F2736 OR F2881. FOR THE RESPECTIVE DIAMETERS.
- REQUIREMENTS OF ASTAL P2725 OR P2881, FOR THE RESPECTIVE DWALETIES.

  12— THROUGH GHOWER (DO OF 1500 MM) SHALL BE WITEFORD A ACCORDANT TO THE
  REQUIREMENTS OF ASTAL D3212. SPROOFS SHALL HAVE CASSETS INTERNOT THE REQUIREMENTS
  OF ASTAL MAY, CASSET SHALL BE REGULALED BY THE PRE MANIFACTURES AND COVERED WITH
  A REMOVABLE, PROTECTIVE WRAP TO ENSURE THE CASSET IS RICE. TROW DESIRES, A JOINT
  LUBROWARD, PROTECTIVE WRAP TO ENSURE THE CASSET IS RICE. TROW DESIRES, A JOINT
  LUBROWARDLE TROW THE MANIFACTURES SHALL BE USED ON THE COSKET AND BELL DURING ASSEMBLY.
- . 12- THROUGH 60-INCH (300 TO 1500 MM) DAMETERS SHALL HAVE A REINFORCED BELL WITH

- ITTINOS SMALL CONFORM TO ASTM F2738, ASTM F2881 AND AASHTO MA30, FOR THE 
  RESPECTIVE DOMETICE, BELL & SPICOT CONNECTIONS SMALL UTILIZE A SPIN-ON, WELLED OR 
  WITCORAL BELL AND SPICOT WITH GASKETS MEETING ASTM F477. BELL & SPICOT FITTINGS JOINT 
  SMALL MEET HE WINDERGOFF JOINT PERSPENANCE REQUIREMENTS OF ASTM DA212.
- CORRUGATED COUPLINGS SHALL BE SPLIT COLLAR, ENGAGING AT LEAST 2 FULL CORRUGATIONS. FIFLD PIPE AND JOINT PERFORMANCE:

- ME. AND JOHN PERFORMANCE: PLD PERFORMANCE VERIFICATION MAY BE ACCOMPUSHED BY TESTING IN ACCORDANCE WITH ASTM F1417 OR ASTM TEAST, APPROPRIATE SWETY PREDAUTIONS MUST BE USED WHEN FIELD-TESTING ANY PIPE MATERIAL CONTACT THE MANUFACTURER FOR RECOMMENDED LEMANCE PAYER.
- MATERIAL PROPERTIES:
- POLYPROPILENE COMPOUND FOR PIPE AND FITTING PRODUCTION SHALL BE IMPACT MODIFIED
   COPPOLYMEN MEETING THE MITERAL REQUIREMENTS OF ASTM F2736, SECTION 4, ASTM F2831,

   SECTION 5 AND ASSITTO M330, SECTION 6.1, FOR THE RESPECTIVE DAMETERS.

#### 14. INSTALLATION:

INSTALLATION SHALL BE IN ACCORDINACE WITH ASTM 02321 AMD ADS RECOMMENDED INSTALLATION GUIDELINES, WITH THE EXCEPTION THAT MINIMUM COVER IN TRAFFIC AREAS FOR 12— THROUGH 48—INCH (300 TO 1200 MM) DOMESTERS SHALL BE ONE FOOT. (0.3 M) AMD FOR 60—INCH (1500 MAY DIAMFTERS. THE MINIMUM COVER SHALL BE 2 FT. (0.6 M) IN SINGLE RUN APPLICATIONS. MAY JUMPLENS, THE MINIMUM CAPEN SHALL BE 2 FT. (MC MI) IN STREET, MY PEPLACHIONS, SELL, CONSTST OF CLASS 1, CLASS 2 (MINIMUM 90% SOUTH OF CLASS 1, CLASS 2 (MINIMUM 90% MATERIAL. MAXIMUM FILL RECHTS DEPEND ON EMBEDIAGHT MATERIAL AND COMPACTION LEVEL, PLASE REFER TO ADS TECHNOLIN INFORMATION, CONTRACTOR TO CONTACT ADS TIRE A COPY OF THE UNITEST INSTILLATION GUIDELINES.

- STANDARD / NEW CONDITIONS OF APPROVAL (FOR DRC CONSIDERATION) CASE# DP-22-07-242:
- DEVELOPMENT SHALL CONFORM TO THE GRANGEWOOD N=2 PLANNED DEVELOPMENT; GRANGE COUNTY BOARD OF COUNTY COMMISSIONERS (BOC) APPROVIAS; GRANGE PIRES PARCEL 113 PRESIMINARY ZUROMSKOP (PAR) BOC APPROVIAS; PAR : HORNER ZARTAKENIS DEVELOPMENT PAR DATED TRECEMEN +" AND TO THE CONDITIONS OF APPROVAL LISTED BELOW DEVELOPMENT BASED DATED RECEIPED "AND TO THE CONDITIONS OF APPROVAL USED BELOW, DEVELOPMENT MASSED FUND THIS APPROVAL SHALL COMPLY WITH ALL APPLICABLE FEDERS, STATE, AND COUNTY LAWS, ORDINANCES, AND REQULATIONS, WHICH ARE NOOFMORATED HERRIN BY REPRENER, EXCEPT TO THE EXTERN ANY APPLICABLE COMPLY LAWS, ORGANIACES, OR RECULATIONS ARE EXPRESSLY WANCED OR MODIFIED BY THESE CONDITIONS, OR BY ACTION APPROVED BY THE BCC, OR BY ACTUAL OF THE ACTION APPROVED BY THESE CONDITIONS, OR BY ACTION APPROVED BY THE BCC, OR BY ACTUAL OF THE ACTUAL ACT
- THIS PROJECT SHALL COMPLY WITH, ADHERE TO, AND NOT DEVIATE FROM OR OTHERWISE CONFLICT WITH ANY VERBAL OR WRITTEN PROMISE OR REPRESENTATION MADE BY THE APPLICANT (OR WITH ANY YORAL OR WRITTON PROJECT OR REPRESENDENTIAN MADE OF THE APPLICANT (OR AUTHORITY) TO THE BORNO OF COUNTY COMMISSIONIS (18040) AT THE FURILL HARMON WHITE THIS DEPLOYMENT RECORD FINAL APPROXIM, WHERE SUCH PROMISE OR REPRESENDENTIAN CHIEFER COLD AND PROTECTION OF THE GOOD ON PROPRIONE THE CONCLOPANCY, COULD WAR PROCEDURED, WHICH DEPENDENT ON HAVE BOTH BEEN BRIDDED ON PROPRIONE OF THE CONCLOPANCY CHIEF OF THE GOOD ON APPROVING THE CONCLIPATION, AND THE CONCLIPATION WHITE SOURCE ON PROPRIORISED ON THE CONCLIPATION, AND THE CONCLIPATION, AND THE CONCLIPATION OF THE CONCLIPATION RECORDING OF FOR REFLISE TO RECORD) THE PLAT FOR THE PROJECT, FOR PURPOSES OF THIS CONDITION A "PROVISE" OF "REPRESENTATION" SHALL BE DEFINED TO HAVE BEEN MADE TO THE BOARD BY THE APPLICANT (OR AUTHORIZED AGENT) IF IT WAS EXPRESSLY MADE TO THE BOARD AT A PUBLIC HEARING WHERE THE DEVELOPMENT WAS CONSIDERED AND APPROVED.
- A PUBLIC HERMIN WHERT THE EPECLOPHOTH WAS CONSIDERED AND PROPRIOR.

  PRISULATT TO SECTION 1250.22, FROM STATULES, SISSUENCE OF THIS EPECLOPHOT PERMIT OF THE CHIEF OF THE APPLICANT TO DEPLAY A PERMIT THAN A STATE OF ETIEBLE, ACCEPTED DO DES MOT CHIEF AND FULL OF THE APPLICANT THAN A STATE OF ETIEBLE, ACCEPTED DO DES MOT CHIEF AND HERMING THE MAN A STATE OF THE APPLICANT FALLS TO GITAIN ROUSSITE APPROVALS OR FILETIL THE GUILLANDIUS IMPOSED OF A STATE OF TEREBRAL ACADE OF UNDERTRUSTS. ACCESS THAT RESULT A MOLITION OF STATE OF FEDERAL LAND FULSIONET TO SECTION 125.022, THE APPLICANT SHALL GRIAN ALL OTHER APPLICANT STATE OF THE APPLICANT SHALL GRIAN ALL OTHER APPLICANT STATE OF THE APPLICANT SHALL GRIAN ALL OTHER APPLICANT STATE OF THE APPLICANT SHALL GRIAN ALL OTHER APPLICANT STATE OF THE APPLICANT SHALL GRIAN ALL OTHER APPLICANT STATE OF THE APPLICANT STATE OF THE
- DEVELOPER / APPLICANT HAS A CONTINUOUS OBLIGATION AND RESPONSIBILITY FROM THE DATE OF APPROVAL OF THIS DEVELOPMENT PLAN TO HYPROMPTLY TO SCILOSE TO THE COUNTY ANY CHANGES IN OWNERSHIP, ENCOURDENCES, OR OTHER MATTERS OF RECORD AFFECTING THE PROPERTY THAT IS SUBJECT TO THE PLAN, AND TO RESOURE ANY ISSUES THAT MAY BE DESTRIPTED BY THE COURTY. AS A RESULT OF ANY SUCH CHANGES, DEVELOPER / APPLICANT ACKNOWLEDGES AND UNDERSTANDS THAT ANY SUCH CHANGES ARE SOLELY THE DEVELOPER'S / APPLICANT'S OBLIGATION AND RESPONSIBILITY TO DISCLOSE AND RESOLVE, AND THAT THE DEVELOPER'S / APPLICANT'S FALLURE TO DISCLOSE AND RESOLVE ANY SUCH CHANGES TO THE SATISFACTION OF THE COUNTY MAY RESULT IN THE COUNTY NOT ISSUING (OR DELAYING ISSUANCE OF) DEVELOPMENT PERMITS. NOT RECORDING (OR DELAYING RECORDING OF) A PLAT FOR THE PROPERTY, OR BOTH,
- PROPERTY THAT IS REQUIRED TO BE DEDICATED OR OTHERWISE COMMEYED TO DRANGE COUNTY (BY ACCEPTABLE TO COUNTY AND CONSISTENT WITH THE ANTICIPATED USE, OWNER / DEVELOPER SHALL PROVIDE, AT NO COST TO COUNTY, ANY AND ALL EASEMENTS REQUIRED FOR APPROVAL OF A PROJECT OR NECESSARY FOR RELOCATION OF EXISTING EASEMENTS, INCLUDING ANY EXISTING FACILITIES, AND SHALL BE RESPONSIBLE FOR THE FULL COSTS OF ANY SUCH RELOCATION PRIOR PAULITIES, AND SMICE EXECUTIONED FOR THE POLIC COSTS OF WAT SOUTH PERCENTION PAND.

  TO GRANGE COUNTY'S ACCEPTANCE OF THE CONNEYANCE, MY HOUSENANCES THAT ARE DISCONDERS WHEN PAPRIAND, OF A POLIVAD USE PLAN SMULL BETHE RESPONSIBILITY OF GINNEYS.

  FOR DISCONDET ON BELISSE AND REQUEST, AT NO COST TO COUNTY, PROOR TO COUNTY'S ACCEPTANCE OF CONNEYANCE, AS PART OF THE REVIEW PROCESS FOR CONSTRUCTION PLAN APPROVAL(S), ANY REQUIRED OFF-SITE EASEMENTS IDENTIFIED BY COUNTY MUST BE CONVEYED TO COUNTY PRIOR TO ANY SUCH APPROVAL, OR AT A LATER DATE AS DETERMINED BY COUNTY, ANY FAILURE TO CONFLY WITH THIS CONDITION MAY RESULT IN THE WITHHOLDING OF DEVELOPMENT PERMITS AND PLAT APPROVAL(S).
- PENNIS AND FUN NEW WOODLY "SY" "TH" OBC (OR BCC, AS APPUCABLE), BMUL AUTOMODULY DOME IF CONSTRUCTION PUNS ARE REQUIRED AND HAVE NOT BEEN SUBMITTO AND APPOCAD WHITN THE OS YEARS FROM OR APPOCADLE IF CONSTRUCTION PUNS ARE AND AREA OF THE OSCILLATION OF THE OSCILLATION PUNS ARE AND AREA OF THE OSCILLATION PUNS AREA OF THE OSCILLATION PU MAY, UPON GOOD CAUSE SHOWN, GRANT SUCCESSIVE ONE (1) YEAR EXTENSIONS TO THE DOPIRATION DATE OF A OP IF THE DEVELOPER MAKES WRITTEN REQUEST TO THE DRC CHAIR PRIOR
- THE STORMWATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO RETAIN THE 100-YEAR/24-HOUR STORM EVENT ONSITE, UNLESS DOCUMENTATION WITH SUPPORTING CALCULATIONS IS SUBMITTED WISCH DEMONSTRATES THAT A POSITINE OUTHALL SE AMALIABLE IS THE APPLICANT CAN SHOW THE EXISTENCE OF A POSITINE OUTHALL FOR THE SUBJECT BASIN, THEN IN LIEU OF DESIGNING FOR EXISTENCE OF A POSITION CONTRAL FOR THE SUBMICH BROWN, INCRIN IN COOR PERSONNING FUN THE (0.0-YEAR/YAT- HOUR STORM EMPINT, THE CREATEDINGS AND EXPRESSIVE WITH ALL APPLICABLE STATE AND LOCAL STORMARTER REQUIREMENTS AND REQUILATIONS. AN EMERGENCY HIGH WATER RELIEF DUTIFALL SHALL BE PROMODED TO ASSURE OVERFLOW DOCS NOT CAUSE FLOODING OF SURROUNDING ARRES.
- PROOFING OF SUPPORTURES AND AS PROPERTY OF THE PROOFING CALCULATIONS SHALL BE SUBMITTED WHICH CERTIFIES THAT THE DESTING DRAWAGE SYSTEM AND PROOFS HAVE THE CAPACITY TO ACCOMMODATE THIS DEVELOPMENT AND THAT THIS PROJECT IS CONSISTENT WITH THE APPRINCED MISSTER DRAWAGE FAMILY FIRST THIS PICT.
- PRIOR TO CONSTRUCTION PLAN APPROVAL, DOCUMENTATION MUST BE PROVIDED CERTIFYING THAT THIS PROJECT HAS THE LEGAL RICHT TO THE INTO THE MASTER DRAINAGE SYSTEM.
- UNLESS OTHERWISE ALLOWED BY COUNTY CODE, THE PROPERTY SHALL BE PLATTED/REPLATTED PRIOR TO THE ISSUANCE OF ANY VERTICAL BUILDING PERMITS.
- 11. A MANDATORY PRE-APPLICATION/SUFFICIENCY REVIEW MEETING FOR THE PLAT/REPLAT SHALL BE REQUIRED PRIOR TO PLAT SUBMITTAL AND CONCURRENT WITH CONSTRUCTION PLAN SUBMITTAL, THE APPLICANT SHALL RESOLVE, TO THE COUNTY'S SATISFACTION, ALL ITEMS IDENTIFIED IN THE PRE-APPLICATION/ SUFFICIENCY REVIEW MEETING PRIOR TO FORMAL SUBMITTAL OF THE PLAT TO THE
- 12. AUTHORIZATION FROM GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT ALLOWING CONNECTION TO PRANCEO GRANDE BOLLEAND AND "DIMENSION" SYSTEM IS REQUIRED PINOR TO SITE PLAN CHIEFMENTON PETRONAL.
- 13. PRIOR TO COMMENCEMENT OF ANY EARTH WORK OR CONSTRUCTION, IF ONE ACRE OR MORE OF LAND WILL BE DISTURBED, THE DEVELOPER SHALL PROVIDE A COPY OF THE COMPLETED NATIONAL AND WILL BE INSTRUMENT, THE REVISIONS WILL PROVIDE A CIEPT OF THE CONTROLLED PROMONEL POLITION TO STEEL (PROVIDE A STORICE OF THIS THE (AND EXPENSE AND EXPENSE AN
- FROM IN DISSOURCE OF WATCHINGTON TO COMPRESSOR A SERVICE WATCH SHALL READ "NO OUR PIECE, SERVE, MEDILLON INLET MARKETS INSTILLED. TEXT ON THE MARKET SHALL READ "NO OUR PIECE, CHLY RAIN IN THE DRAW! SPECIFICATION DEFA. WILL BE PROVIDED WITHIN ALL PLAN SCIS. CONTROL THE MARKET PROVIDED TO DEFAULT. SHALL BE PROVIDED WITHIN ALL PLAN SCIS. CONTROL THE MARKET PROVIDED TO SERVE STANDARD STREET (MPDES) SUPERMSOR AT THE GRANCE COUNTY ENVIRONMENTAL PROTECTION DIMISION FOR DETAILS.
- AS MARSES THE PROGREMS IS STREAMED, VISITED THE COLUMN, THE APPLICATE MIST APPLY FOR AND CRIMEN A OWNER SCHOOL STREAM AND CRIMEN AS OWNER AS OWN
- 16. PRIOR TO CONSTRUCTION PLAN APPROVAL, HYDRAULIC CALCULATIONS SHALL BE SUBMITTED TO

- ORANGE COUNTY UTILITIES DEMONSTRATING THAT PROPOSED AND EXISTING WAITER, WASTEWAITER, AND RECLAIMED WAITER SYSTEMS HAVE BEEN DESIGNED TO SUPPORT ALL DEVELOPMENT WITHIN THE DP, AND THAT CONSTRUCTION PLANS ARE CONSISTENT WITH AN APPROVED AND UP-TO-DATE MASTER UTILITY PLAN FOR THE PD.
- THIS PROJECT SHALL COMPLY WITH THE COUNTY'S INTERNATIONAL DRIVE ACTIVITY CONTRE COMPRESIONERS FAN ROUMEDMENT FOR A 15-FOOT TRAVEIT EASTMENT AND A SEPARATE 20-FOOT LANGSCAFE, PEDESTRAIN, AND UTILITY EASTMENT. THE REQUIRED EASEMENTS SHALL BE ODDICATED WAS THE REQUIRED RE-PART.

1 MANAGES SESSOTTO CHANGE COMPAN NO. DATE: DESCRIPTION NAVDES MINI NO. 21-153 DRAWN BY: CHECKED BY APPROVED BY SCALE IN PEET N.T.S.

PACI-DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submittel To: ORANGE COUNTY, FL.

CONSTRUCTION

Sheet No.

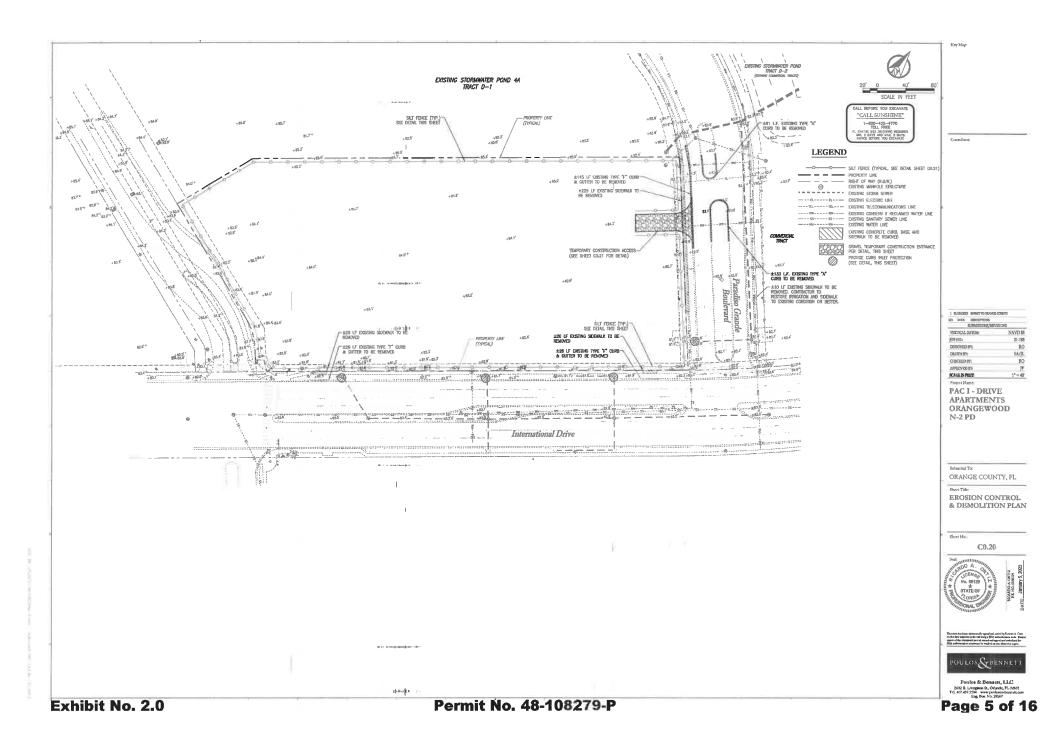


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2692 E. Levingston St., Orlando, Fl. 32803 Tel. 407,497,2594 www.poulosandbennett.co Bras. Bus. No., 28507



EROSIAN CONTROL NOTES:

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL RUSSOWALE MEASURES TO ENGINE
ADMINIST POLITICIA, STATING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN
TRIBUSTY TO THE DESTINE SURFACE WATERS, SUCH MEASURES SHALL BE APPROXIDED TO THE DESTINE SURFACE. BUT AND THE PROCESSOR OF THE PROPERTY OF THE PROPERTY PROCESSOR
OF THE PROPERTY OF THE PROPERTY PROCESSOR OF THE PROPERTY PROTECTION.

- STANDARDS, CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION CONTROL COSTS INCLUDING ANY COSTS ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
- ANT MOST ASSOCIATED HIS CONTRIVENE SSEEDS AND ENFORMERS HIS MANY PLANT TO GRANGE COUNTY FOR REVIEW AND APPROVAL A MANUAL OF TIME WORKER PROVISE PROVINCE SHEET AND APPROVAL A MANUAL OF TIME WORKER PLANT SHEET AND APPROVAL A MANUAL OF TIME WORKER PLANT SHEET PROPERTY STATES AND LIVERIES AN ALCORDANCE WITH NATIONAL POLICITATY OF SCHOOLS BUT STATES AND LIVERIEST WARRES, IN ALCORDANCE WITH NATIONAL POLICITATY DESCRIPTION OF STATES AND LIVERIEST WARRES SHEET PROPERTY ENGINEERS. IN ALCORDANCE WITH NATIONAL POLICITATY OF SCHOOLS ELIMINATION STATES AND LIVERIEST WARREST WA
- ALL PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 7 DAYS OF FINAL GRADINS, ALL TEMPORATE ROSION COMPROL SHALL BE MAINTAINED LIVINE, PERMANENT MEASURES ARE COMPLETED AND ESTRUCISED.
- ALL EROSIDIN CONTROL MEASURES SHALL BE IN ACCORDANCE WITH INPOES REQUIREMENTS.
- AU, DISJOINT CHITRIAN CHESTORY, SHALL BE BY PALADOMINOCUM-CONTRIBACTION SHALL RETAIN CORPS FO DIAIN LISED IT COURTEET THE NOTICE OF INTERET TO CONSTRUCTO (NO.D., THE STORMANCE POLLUTION PROVENTION PLAN (SHIPPP), AND ALL REPORTS REQUIRED BY THE ROPIES GREENE PERMIT FOR A PERSON OF AT LEST TREES YEARS FORCE DATE THAT THE SITE IS FINALLY STABILIZED, SUCH REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- CONTRACTOR AND SUBCONTRACTOR(S) IDENTIFIED IN THE SWPPP SHALL SIGN THE CERTIFICATION STATEMENT CONTAINED IN PART V.E.2 OF THE GENERIC PERMIT BEFORE CONDUCTING ANY WORK IDENTIFIED IN THE SWPPP.
- DISTRIBED IN THE SPREPP.

  CONTRINCTION SHAPE ALGORY OF THE SPREP AT THE STE FROM THE DATE OF PROJECT CONTRIBUTION SHAPE ALGORY ALGORY THE SPREP AT THE STE FROM THE DATE OF PROJECT CONTRIBUTION SHAPE ALGORY THE SPREP PROJECTION THERE IS A CAMAGE IN DESIGN, CONSTRUCTION, OFFICIAL ORDINATE SHAPE ALGORITHM WAS ASSEMBLY THITTED OF THE PROTECTION FOR OTHER SHAPE SHAPE ALGORITHM AS ASSEMBLY THITTED OF THE PROJECT OF CONTRIBUTION OF OR CHANGE IN LOCATION OF DISCHARGE OF POLICIAINTS, BULLDRICH THE ADDITION OF OR CHANGE IN LOCATION OF DISCHARGE CONTRIBUTION OF DISCHAR
- AMENDMENTS TO THE SWPPP SHALL INCLUDE IDENTIFYING ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A POLLUTION PREVENTION MEASURE.
- 11. AMENDMENTS TO THE SWPPP SHALL BE PREPARED, DATED AND KEPT AS ATTACHMENTS TO THE
  - UNBOWN, EVAN.

    THE SIMPP SHALL BE ANDINDED TO REFLECT ANY CHANGE APPLICABLE TO PROTECTING SURFACE WATER REQUIRES IN SITE POSITION APPROVED BY STATE, RECOMM, OR LOCAL OFFICIALS FOR WHICH CONTRICTOR RECORDS WRITTEN MOTICE AND CONTINUED SHALL RE-CERTIFY SUCH CHANGES RELIED TO SUCH HINTED MOTICE.
- CONTRACTOR SHALL REMAIN RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POLLUTION CONTRACTOR SHALL RESIDENT RESPONSIBILE FOR PERSONAND AND IMMITTANCE OF POLULITON PROTECTION PASSARES LIMIT, CONSTRUCTION HAS BEEN COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THE CONTINUED FLANS AND DESTRIED AS SUCH DY POLUCE & BENNETT, WHETHER OR NOT CONTINUED IN SUBMITTED A NOTICE OF TERMINISTON (MOT) TO PROTECT WHETHER OR NOT THE SCHEDULING, SETURICION AND CONTROL MEASURES, WHICH ARE GUITLINED HEREM, ARE SUBJECT
- TO FINAL DEFINITION BY THE CONTRACTOR WHO WILL BE RESPONSIBLE FOR IMPLEMENTATION AND
- COMPANIES.

  THE CONSTRUCTION, THE COMPRACTOR SMALL BE REGISTED TO SUBMIT A CONSTRUCTION SCIENCE LEPICITIES (SACH PHASE OF THE WORK THE CONTRACTOR SMALL ASSO BE REQUIRED TO SUBMIT AN EXCEPTION AND SEBILIZED FORWARD, PLAN TO THE CONTRACTOR SMALL ASSO BE REQUIRED TO SUBMIT AND EXPOSED AND SEBILIZED FORWARD. FOR SMALL ASSO BE REQUIRED TO SUBMIT AND EXPOSED AND SEBILIZED FOR SMALL ASSOCIATION OF SCIENCE THAN OF IMPLICATION STATES.

  THE REQUIREMENT EXCENSION THE CONTRINCTION OF CONSTRUCTION ON BEGIN URIT. SOM PAUM MS ESTIMATED. APPROVED BY THE CITY OF ORLANDO.
- MERCHANDLY BY THE CHT OF UNLAND.

  THE CONTRACTOR SHALL DALLY INSPECT PROTECTIVE INSTALLATIONS FOR FAILURES OF SHALL OF OF SHAL
- 17. THE RECONMENDED GENERAL SEQUENCE OF CONSTRUCTION FOR ALL BASINS IS AS FOLLOWS:
  - 17.1. PLACEMENT OF PERIMETER PROTECTIVE MEASURES (SILT FENCE, SYNTHETIC HAY BALES, ETC...) AROUND ONSITE, LAKES, AT POINTS OF OFFSITE DISCHARGE, AND AROUND WORK AREAS.
  - 17.2. REPOUTE RUNOFF FROM AREAS OUTSIDE OF THE DEVELOPMENT AREA TO MINIMIZE FLOW THROUGH AREAS TO BE DISTRIBUTED BY CONSTRUCTION, GERMS, SWALES AND OTHER MEANS USED FOR SUCH CONFERENCE SHALL BE VEGETARED AND MEASURES TAKEN TO PROVIDE PROTECTION URIN, STABILIZATION HAS BEEN ESTABILISHED.
  - PROTECTION MATH, SAMULLATION MAS BEDT ESPELIAISMEN,

    7.3. SELED LOCATIONS FOR PACKEDIST OF WATERM, WEITHER SUTMBLE FOR FILL OR UNSUMBLE,

    AND CONSTRUCT CONFAMILIATED BENAS ADOUBT THE MEAL THE USE OF STREPMENS FOR THIS

    FURNISHE WAS PACKEDISHED ERROR RESPECTATION, DOWNSTRUCT INSPERVANT CULTIEST FROM

    CONTAMBIENT AREAS WITH SKREEDIS, NOT BALES, SETTLING BASINS OR UTBER MEASURES TO

    PREVENT BUT TROMSPORTATION.
  - 17.4. SPLECT/ DESIGNATE ACCESS ROUTING FOR CONSTRUCTION EQUIPMENT AND VEHICLES AND PROVIDE PERIMETER PROTECTIVE MEASURES WHERE EXISTING TERRAIN WILL BE SUBJECT TO DISRUPTION BY SUCH TRAFFIC.
  - 17.5. IF REQUIRED, CONSTRUCT ABOVE GROUND OR OTHER CONTAINMENT AREAS FOR CONSTRUCTION AREA RUNGEF, PROVIDE SCREENS, SYNTHETIC NAY BALES ETC., TO FILTER DISCHARGE THESE
  - GRASSING, SODDING, ETC. SHALL BE IN PLACE IMMEDIATELY UPON COMPLETION OF WORK IN DISTURBED ARGIS WITHIN PROJECT AREA.
     IN. ANY EVENT, CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING ANY AND ALL MEASURES
  - ARE TAKEN TO COMPLY WITH LOCAL, STATE, FEDERAL AND OWNER REQUIREMENTS FOR ERDISION AND SECIMENT CONTROL DURING CONSTRUCTION.
- 18. BAHA SOO OR OTHER STABILIZATION IS REQUIRED AROUND ALL STORM INLETS IN UNPAVED AREAS.
- 19. THE UNITED STATES EMMRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL POLLUTANTS DISCHARGE SUMINATION SYSTEM (N.P.D.E.S.). CONTRACTOR IS ADMISED THAT OPERATORS ARE REQUIRED TO FILE WITH F.D.E.P., A NOTICE OF INTENT TO USE THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OF LAND, IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (N.O.I.) TO F.D.E.P., WITH A COPY TO THE OWNER, THE ENGINEER AND THE CITY AT LEASE 48 HOURS BEFORE INITIATING CONSTRUCTION.
- 20. AS REQUIRED BY THE GENERIC PERMIT, CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) PURSUANT TO ALL REQUIREMENTS OF THE GENERIC PERMIT.
- 21. PURSIANT TO THE N.P.D.E.S., CONTRACTOR SIMIL MAINTAIN RECORDS OF DATES WHEN MAJOR CROOMS ACTIVITIES TEMPORALLY OR PORMANETHLY CODEC AND SHALL INTRICE STANDLARDON MAZQUESES WHEN 14 DATES THE HEROPROMY OR PERMANENT CESS ACTIVITY, STABILIZATION REQUIREMENTS (SODDING WHERE SHOWN ON THE PLANS, SEEDING AND MULCHING ELSEWHERE) APPLY TO ALL AREAS DISTURBED BY CONSTRUCTION, ON-SITE AND OFF-SITE.
- CONTRACTOR SHALL PROVIDE INSPECTIONS BY QUALIFIED PERSONNEL OF ALL POINTS OF DISCHARGE 22 COSTRUCTOR SAULT PROVIDE INSECTIONS OF DILL'EXE D'HERSTARLE, OF ALL POINTS OF DISCOVER, CONTROLL PROVIDE INSECTION OF DISCOVERY, CONTROLL PROVIDE IN COSTRUCTOR OF DISCOVERY OF SECTION OF SECTION
- TEMPORARY STABILIZATION ALONG A CURRSIDE, IT MUST BE IN CONJUNCTION WITH ANOTHER FORM OF TEMPOPRET STABULZATION ADJUST A CURESDUC, IT WOSS DE LIN CONSISTENT MET AND THE CHORK OF TEMPORISHET STABLIZATION ON THE LOT PAOS, SUCH AS THORROSED OR SEED/MUCCH, IT USINS SOO STRIPS DURING THE ESTABLISHMENT OF STABILIZATION AS A CURESDUC BMP THEN THEY MUST BE A URN OF 4.5 SOD STRIPS ARE NOT SUFFICIENT FOR USE AS CURRESDUE BMP DURING VERTICAL

#### DUST\_CONTROL\_PROVISIONS

- CONTRACTOR SHALL PRE-WATER THE SITE AND ALL WORK WILL BE PHASED TO SEDIECED THE CONTRACTOR SHALL PRE-WATER THE SITE AND ALL WORK WILL BE PRESED TO REDUCED TH MANUALT OF DISTURBED SURFACE AREA AT ANY ONE TIME ACTIVE OPERATIONS.

  1.1. WATER TO BE APPLIED TO DRY AREAS DURING LEVELING, GRADING, TRENCHING, AND EARTHMOWING ACTIVITIES.
- 1.2. WATER TO BE APPLIED ON DISTURBED SURFACE AREAS TO FORM A VISIBLE CRUST. 1.3. VEHICULAR ACCESS TO BE RESTRICTED AND WATER OR DUST SUPPRESSAVITS TO BE APPLIED AND MAINTAINED AT ALL UN-VEGETATED AREAS. CONTRACTOR SHALL PREVENT DUST FROM WIND EVENTS.
- 2.1. WATER TO BE APPLIED TO MEMOLILAR TRAFFIC AND FOLIPHENT STORAGE AREAS.
- 2.1. WHALE YOU BE APPLIED TO YEARCHAY HOW FOR AND EXTURNED STORMER AND S.

  2.2. WHATE APPLIED HOME DEPRISED WILL APPLY WHATER TO CONTROL FUGITIVE OUST OURSING WIND DENTS, UNLESS UNSAFE TO DO SO.

  2.3. DUIDDOR CONTRUCTION ACTIVITIES THAT DISTURB THE SOIL TO BE CEASED WHENEVER WISHLE DUST EMISSIONS CONTROL BE FETZETIVELY CONTROLLED.
- CONTRACTOR SHALL HANDLE BULK MATERIAL.
- 3.1. WATER TO BE APPLIED WHEN HANDLING BULK MATERIALS.
  3.2. WATER TO BE APPLIED TO STORAGE PILES.

- 3.3. VENUE OF BY MUREO ON THE WORK SITE.
  3.4. ALL HULL TRUCKS TO BE COMED SUCH THAT THE FREEDOMRO IS NOT LESS THAN SIX INCHES WHEN TRUSKSFORT USING A CHIEF OR CONVEYOR.
  CONTRACTOR SMALL DO DAILY CLEANUPS:
- 4.1. MINIMUM CLEANUP FREQUENCY TO BE DONE AT THE END OF THE WORK DAY AND REMOVED MINEDIATELY IF CARRYOUT AND TRACK OUT EXTENDS BEYOND SO FEET.
- 4.2. CLEAN UP METHODS: 4.2.1. MANUALLY SWEEPING AND PICKING UP.
- MECHANICAL SWEEPING WITH A ROTARY BRUSH OR BROOM ACCOMPANIED BY WATER SPRAYER ON BROOM.

#### SWPPP NOTES

- CONSTRUCTION ACTIVITY PERTAINS TO CONSTRUCTION OF MULTI-FAMILY APARTMENTS AND ASSOCIATED STILLTES, DRINEWAY/PARKING, AND STORMANTER TREATMENT PONDS.
- EXISTING ON-SITE SOILS: REFER TO NPDES TABLE.
- ALL PROPOSED INLETS/OUTFALLS, CNCE INSTALLED, SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF USING PROPERLY INSTALLED FILTER<sup>1</sup> (NEW C). DISTURBED PORTIONS OF THE SITE SCHIMATO RANGET USING PROPERTY INSTALLED PILITERI-PROPERS, DISTURBED PROFITORS OF THE STE WHERE CONSTRUCTION ACTIMIES HAVE PERMANENTLY GENES SHALL BE STRUCTED WITH SIDE. SITL FIFTCE SHALL BE RISTALLED ARQUIN PERMITTER OF THE STEE. A DOUBLE ROW OF SIX TENLE, BERTPORCED WITH FEEL PICHANG, SHALL BE PLACED ARROUND VERGINITIES UNTER AND WELTAKE ARREA. ALL AREAS ESTURBED MORE HOW I ZHON'S SHALL BE SUBJECTED WITH FITE GRASS OR OTHER APPROPRIATE INTERPORTY VERSITIONS ANY BUT AN ARRAPMENT SECREMENTAGENERS'S RECOMMENDATIONS'S RECOMMENDATIONS'S CONTROLLED AND STRUCTURE OF THE STRUCT
- THE TEMPORARY AND PERMANENT STARILITATION PRACTICES INCLUDE SODDING ALL DISTURBED AREAS
- SILT FENCE AND INLET/OUTLET PROTECTION SHALL BE INSTALLED PER BEST MANAGEMENT PRACTICES,
- CONTROL DETAILS OF POTENTIAL POLLUTANTS AS FOLLOWS:
  - 6.1. WASTE DISPOSAL ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE FLACED IN DUMPSTER AND HAULED OFF SITE TO A LANDFILL OR OTHER DISPOSAL SITE. NO MATERIALS SHALL BE BURRED ON SITE.
  - 6.2. PROPER APPLICATION RATES OF ALL FERTILIZERS, HERBICIDES AND PESTICIDES AT PROPER PROJUCTION ROLES OF ALL PERTILIZESS, HERRIDIDES AND PESTIGNESS AT CONSTRUCTION STILL — INCIDENT REPRODED Y FERTILIZES AND PERSIODES WILL BE USED AT A MERIAMA AND IN ACCORDANCE WITH MANIFACTURER'S SUGGESTED APPLICATION RATES. THE FERTILIZESS AND PESTICOLES WILL SET STORED IN A COMPETED SHELD, USE OF FERTILIZES AND MUST ADHERE TO THE COUNTY'S FERTILIZES ORDINANCE, USE MUST BE IN COMPLANCE WITH LOCAL CROINANCES, SOME OF WHICH ARE MORE STRINGENT THAN ORANGE COUNTY'S, FOR DEORNATIONAL PURPOSES, SOME GENERAL FACTS ON THE COUNTY'S DROMANCE INCLUDE:
  - NO MORE THAN 1 LB. OF PERTILIZER CONTAINING %50 SLOW RELEASE N SHALL BE APPLIED
  - NO P CAN BE APPLIED WITHOUT A VALID SOIL DEFICIENCY TEST FROM IFAS. IF THEY PLAN TO. APPLY P. PLEASE PROVIDE COPY OF SOIL TEST INDICATING P DEFICIENCY.

  - NO FERRILLER CAN BE APPLIED WINNIN 15 FT, OF WATER BODGES.
     FERRILLER RELEASED ON TO IMPERMOUS SURFACES MUST BE IMMEDIATELY CLEANED UP OR APPLIED PER CODE.
  - JUNE 1 SEPTEMBER 30 IS THE SUMMER APPLICATION RESTRICTED PERIOD. APPLICATORS MUST SHOW PROOF OF TRAINING TO APPLY NITROGEN AND PHOSPHORUS FERTILIZER DURING

6.3 STORAGE, APPLICATION, GENERATION AND MIGRATION OF ALL TOXIC SUBSTANCES - ALL PAINTS AND

- 6.3 STORAGE, PAPILIOTION, DEPERTION AND MISRATION OF ALL TOOC SUSTAINES ALL PRINTS A DIDER CHEMINAL WILL BE STORED IN A LOCATE CONTROL SHEET STEED, STORY MILES AND THE A LOCATE CONTROL SHEET STEEDLS. STORY MILES AND THE AND STORY SHEET STEEDLS. STORY MILES AND THE AND STORY AREA SHEET SHEET
- 7.1. SILT FENGE SHALL BE INSPECTED AT LEAST WEEKLY, ANY REDURED REPAIRS SHALL BE MADE MINEDATELY, SCHWIGHT OPPOSTS SHALL BE REMOVED WHICH THEY REACH APPROXIMATELY ONE-THALT THE HEBRIT OF THE BARREY.
  - AMPRICATION OF THE DEPARTMENT OF THE BARRIER.

    HER DOCK ENTRANCE WHEN ANY VOID SPACES ARE FULL OF SEDIMENTS.
  - 7.3. INLETS/OUTLETS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN EVENT AND ANY REQUIRED REPAIRS TO THE FILTER FABRIC ON INLETS AND SILT FENCE SHALL BE PERFORMED
  - BARE AREAS OF THE SITE THAT WERE PREVIOUSLY SEEDED SHALL BE RE—SEEDED PER MANUFACTURER'S INSTRUCTIONS.

     MULCH AND SOD THAT HAS BEEN WASHED OUT SHALL BE REPLACED IMMEDIATELY.
- 7.5. ILLOT MID SIG THAT NOW BEEN MICH STOP OUT SHOLL BE REPUELDED INSERTION.

  7.6. ILLANDINA LA, OPEN AREAS OF THE SITE WITH PROPER CONTROLS AS INCRESSION OF

  CONSTRUCTION NOT STREETED, CONSTRUCTION REPORT, DISCHARGE, DISCHARGE, AND ALL BREY BAY AND

  WITHIN 24 HANDS OF A RAWFALL DEST PORT, S. DISCHARGE, ON, GREATER, WHICHES TOST HAVE BEEN

  FIRMLY STREETED, SHO RESPECTIONS SHALL BE CONDUCTED AT LEAST DAYS A ARMHUL HUMB, MOTICE
  OF TERMINATION IS FILED.
- ICM-STORMWATER DISCHARGES MAY OCCUR FROM CONSTRUCTION ACTIVITIES SUCH AS WATERLINE NUMBER OF A PAREMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED) AND UNCONTAMINATED GROUNDWATER (DEWATERING EXCAVATION). MONEY AS ALL SECTION IN ACCOMMENSATION THE SECURIORISTIC COURSE. TO SHELL SECTION IN ACCOMMENSATION THE SECURIORISTIC COURSE COU
- PROGRAMMENT AND THE REPORT OF THE REPORT OF THE PROPERTY OF THE PROPERTY OF THE RESIDENCE OF THE PROPERTY OF T

#### DENOLITION NOTES:

1. LOCATION OF EXISTING UTILITIES TO STRUCTURE ARE UNKNOWN, CONTRACTOR TO FIELD VEHICL PRIOR TO DEMOLITION,

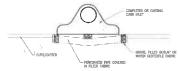
#### NPDES Information

Address	International Drive
Letitude	28'23'58.72"N
Longilude	81°27'38.35"W
Jurisdictional Authority	South Florido Water Managemen District
Total Area (Per Survey)	4.46 ac
Project (Disturbed) Area	±4.46 ac
MS4 Operator	Orange County
Receiving Water Name	Conel C-1
Soile (USDA NCRS "Web	No. 3 Basinger Fine Sond, Depressed

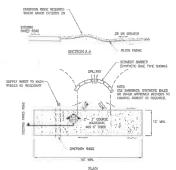
FOR PROJECTS WITH DISTURBED AREAS LESS THAN I

No. 44 Smyrna Fine Sond

CONTRACTOR SHALL PREPARE AND SUBMIT TO THE FLORIDA DEPARTMENT OF DEPARTMENT OF PRINCIPAL PROTECTION THE "NOTICE OF TERMINATION" FOR "STORMMETER DISCHARCE FROM CONSTRUCTION ACTIVITIES," PER FLORIDA DESINEER FROM CONSTRUCTION ACTIVITIES," PER FLORIDA AMMINISTRATIVE COS ST-921.20(4) IN ACCORDINAL WITH FEP FEODRISCHENTS. THE CONTROLLER SHALL FERFAVE AND SEMENT WITH THE PROPULATION, AN PROPOSO "STORMANDER POLICITION FLORY AND PERFORMANCE STORMAND FROM FLORY ALL RESPONSION FLORY AND PERFORMANCE AND THE CONTROLLER SHALL BE FAMO THE CONTROLLER SHALL BE FROM SHALL FROM ANY POPULATION FOR THE SHALL BE FROM SHALL FROM THE POLITICIS OF THESE FIRST MAY FOUND THE CONTROLLER SHALL BE FROM SHALL FROM THE POLITICIS OF THE POLITICIS OF THE SHALL BE FROM SHALL FROM THE POLITICIS OF THE SHALL BE FROM SHALL FROM THE POLITICIS OF THE SHALL BE FROM THE POLITICIS OF THE SHALL BE TO COMPLY WITH THE POLITICIS OF THE SHALL BE TO COMPLY WITH THE POLITICISM SHALL BE TO COMPLY WITH THE POLITICAL BE TO THE



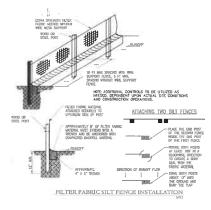
- PLACE CURB TYPE SEDMENT BARRIERS ON CENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POIND AND ALLOW SEGMENT TO SEPARATE FROM RUNOIF.
- SANDBACS OF EITHER BURLAP OR WOVEN GEOTETTLE FABRIC ARE FILLED WITH GRAVEL, LATTERD AND PACKED RIGHTLY.
- J. LEAVE A DNE SANDRAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
- MESSECT BARBIERS AND REMOVED SEDMENT AFTER EACH SIDRIN EVENT. SEDMENT AND COVER THE TRANSPORT FOR CHARGE WITH THE REMOVED FROM THE TRANSPERD AND THE TRANSPERD AND THE TRANSPERD AT THE DAY OF EACH MORNOW, SWEEP OR SCRUPE UP SOIL TRANSPED ONTO THE STREET.
  - CURB INLET PROTECTION



#### NOTES:

- 1. CONSTRUCTION ENTRANCE SHALL 9E MAINTAINED AND UTILIZED DURING CONSTRUCTION
- THE ENTRANCE SHOUL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLORING OF SEGMENT ONTO PUBLIC MICHIS-CE-MAY. THIS MAY REQUIRE TOP ORESING REPAR AND/OR LIEMBUL OF ANY MEXINES USED TO TEAP SEGMENT.
- WIED NECESSARY, PREELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY.
- 4 WHEN WISHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAIN WITH AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ACCESS



CALL BEFORE YOU EXCAVAT "CALL SUNSHINE" NOTICE BEFORE YOU ENCAVATE

Consiliant

1 DIAMS/2025 SUBSCRIPTO DISANGE COLONY VERTICAL DAYUM NAVD SS 100 NO: 21-183 DRAWN BY: ADDRESS TO THE SCALE IN PERIO NTS.

PACI - DRIVE **APARTMENTS** ORANGEWOOD N-2 PD

Submittal To ORANGE COUNTY, FL

EROSION CONTROL NOTES AND DETAILS

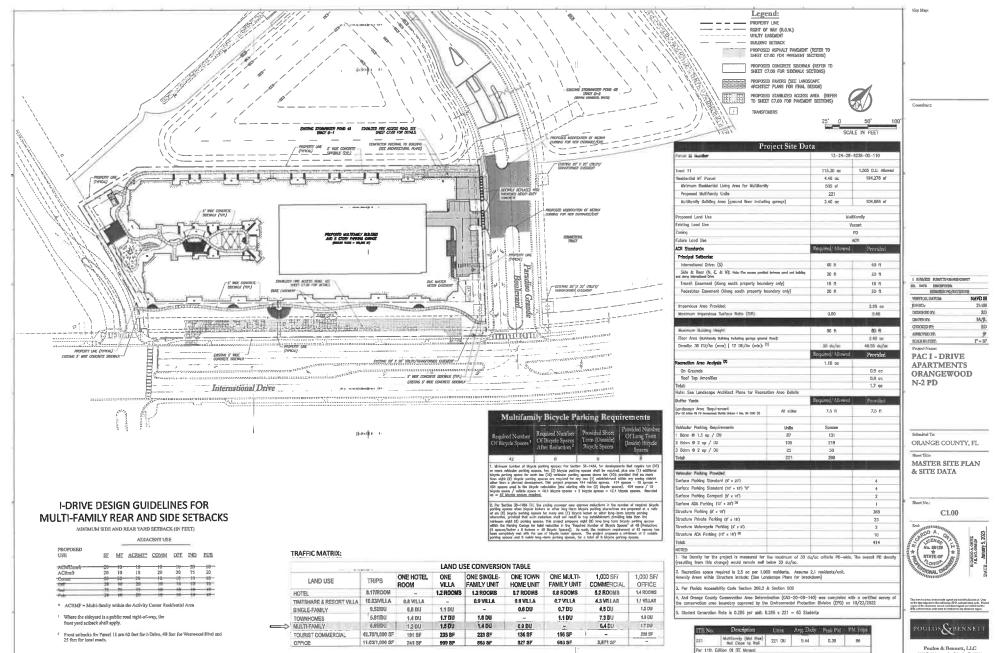


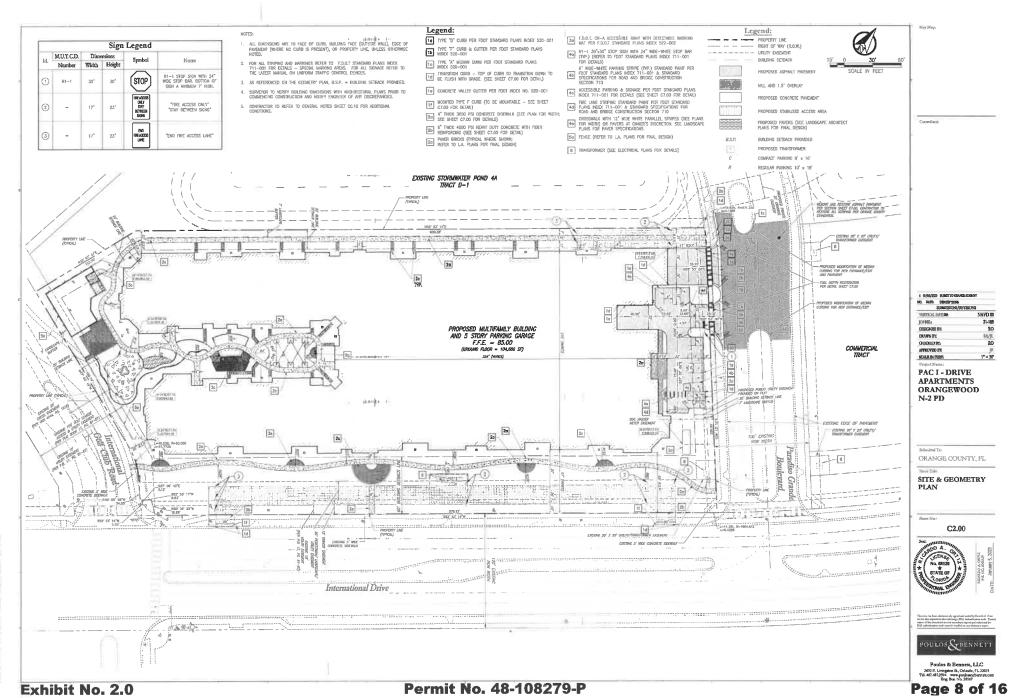


2602 E. Livingston St., Otlando, FL 12803 Td. 407, 697-2594 over-positosandbarristi cos Eng. Sus. No. 28567 Page 6 of 16



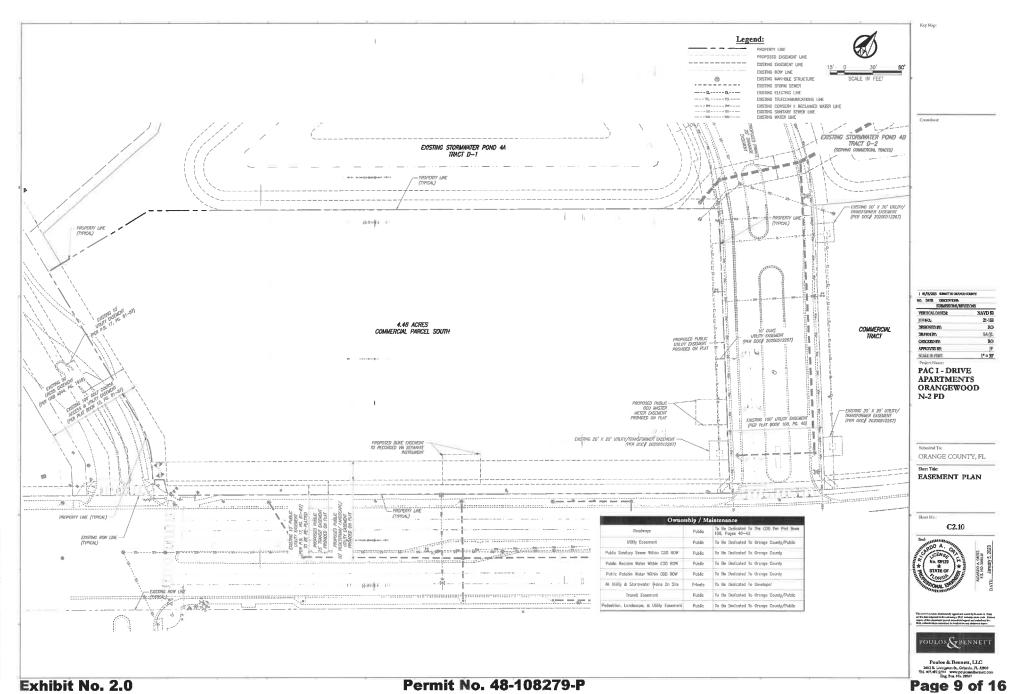
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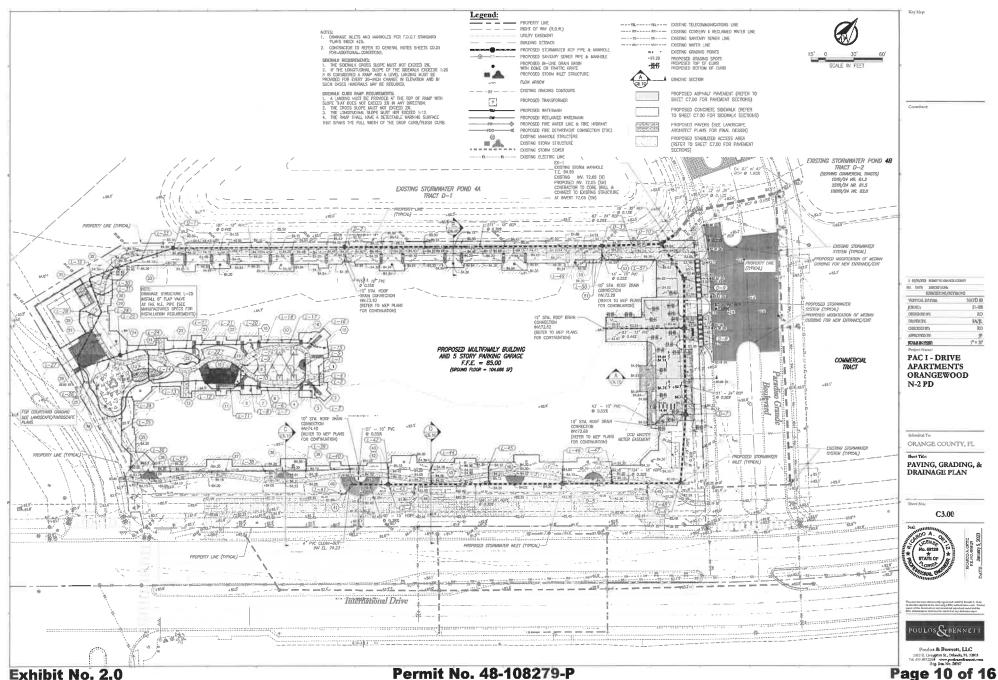
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Structure Number	Structure Type	Top Elet.	invetta	Northing	Hasting
Eli-1	EXISTING M.H.	84.89	72.05 ~ 30° (S)	1479795.3	505299.7
L-1	12" DM. IN-LINE DRAIN BASIN WITH DONE GRATE	84,38	81.50 - 6" (SE)	1478409,8	508082,4
L-2	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	81.30 - 6" (NW) 81.30 - 6" (SW)	1478384.2	508095.0
L=3	12" DIA. IN-LINE ORAIN BASIN WITH DOME GRATE	84.20	81.33 - 6" (NW)	1478383.3	509096.9
L=4	12" DAL IN-LINE DRAIN BASIN WITH DOME GRATE	84.30	81.15 - 6" (NE) 81.16 - 6" (SW)	1478386.1	508083.4
L-5	12" DA. IN-LINE DRAIN BASIN WITH DOME GRATE	B4.50	81,33 - 6" (SE)	1478402.9	50807D.
L-6	12" DIA IN-LINE BRAIN BASIN WITH DOME GRATE	84.20	80.97 - 6" (NE) 80.97 - 6" (SW)	1478373.4	508071.4
L-7	12" DIA IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.73 - 6° (NE) 80.73 - 6° (SW)	1478359.3	508051.9
L-8	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.56 - 8" (ME) 80.56 - 6" (SW)	1478350.6	508037.
L-9	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83,80	80.70 - 6" (SW)	1478365.6	508021.4

Storm Structure Table						
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Easting	
L×10	TO DIA. HI-ENE THAIN HASH WITH DOME CHANC	83.50	80.54 - 8° (NV) 80.54 - 8° (SE)	1478353.2	508022.	
L-11	12" DIA, IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.33 - 6* (NE) 80.33 - 6* (SW)	1478335.2	508021.	
L-12	12" DIA, IN-LINE DRAIN BASIN WITH DOME GRATE	83.44	79.93 - 6" (NE) 79.93 - 6" (SW)	1478320.2	507987.	
L=1J	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.50	79.55 - 5" (NE) 79.55 - 6" (SW)	1478295.5	507958.	
L-14	12" DIA IN-LINE DRAIN BASIN WITH DOME CRATE	84.00	79.25 - 6" (SE) 79.25 - 6" (NW)	1478304.5	507936.	
L-15	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.94 - 6" (5W)	1478425.3	508068.	
L-16	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.82 - 6" (NE) 80.82 - 6" (SW)	1478422.4	508058.	
L-17	12" DIA. IN-LINE DRAIN BASIN WITH DOME CRATE	84.20	80.63 - 6" (NE) 80.63 - 6" (SW)	1478411.1	508042.	
L-18	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.39 - 6" (NE) 80.39 - 6" (SW)	1478396.9	508023,	
L-19	12" DIA. IN-LINE DRAIN BASIN WITH DOWE GRATE	83.60	80.29 - 6" (NW)	1478383.3	508015.0	

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Storm Structure Table						
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Fasting	
1:-20	17" DA. HI-LINE BANK BASIN WITH DOME GRADE	84.00	80.05 - 6" (NE) 80.05 - 6" (SW)	1478375.9	507998,6	
L-21	12" DIA, IN-LINE DRAIN BASIN WITH DONE GRATE	84.71	79.69 - 6" (NE) 79.69 - 6" (SW)	1478353.5	507969.1	
L-22	12" DIA. IN-LINE DRAIN BASIN WITH DOME CRATE	83,77	79.79 - 6" (NW)	1478337.3	507978.8	
L-23	12" DIA, IN-LINE DRAIN BASIN WITH DOME GRATE	83.71	79.52 - 6" (NE) 79.52 - 8" (SW)	1478340.9	507958.8	
L-24	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84,00	79.00 - 8" (NE) 79.00 - 8" (SW)	1478309.1	507918.8	
L-25	TYPE "C" D.B.I. SOLID GRATE	86.91	78.64 - 8" (NE) 78.64 - 10" (SW) 82.50 - 6" (SE) 82.50 - 6" (NW)	1478293.6	507907.7	
L-26	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	85.17	78.66 - 6° (NW)	1478248.8	507893.7	
L-27	12° DIA. IN-UNE CRAIN BASIN WITH DOME CRATE	84,10	78.21 - 10" (S) 78.21 - 10" (N)	1478268.7	507872.5	
L-28	12" DIA. IN-LINE DRAIN BASIN WITH DOME CRATE	86,05	78.28 - 5" (E) 82.30 - 6" (S)	1478309.4	507850.8	
L-29	12° DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	77.83 - 10° (S) 77.83 - 10° (W)	1478318.4	507864.3	

1 01/15/2023 10	MALLETO OFFINES	COUNTY
NO. DATE D	BECKPIONS	
SUI	BALLSSHONS/REVI	SIONS
VERTOCAL DAT	TANK.	NAVD 63
309.NO.		21-169
DESIGNED BY		RO
DRAWN BY:		5A/3L
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APPROVED BY		
WALLS FOR		1"=30

Project Name:
PAC I - DRIVE
APARTMENTS
ORANGEWOOD
N-2 PD

PAT	ING	, GR	ADIN PLAN	G, &
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	Storm S	Structure	Table 'Table		
Structure Number	Structure Type	Top filev.	Javeets	Northing	Essting
L-30	12" DIA. IN-LINE DRAIN BASIN WITH DOME CRATE	83.85	77,70 - 10° (50) 27,70 - 10° (49)	1478328.4	507848.5
L-31	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	78.03 ~ 6° (SW)	1478339.7	507857.0
L-32	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.85	77.53 - 10" (SW) 77.53 - 10" (NE)	1478341.7	507834.2
L-33	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	80.12	77.11 - 10" (SW) 77.11 - 10" (NE)	1478388.9	507864.
L-34	12" DIA. IN-UNE DRAIN BASIN WITH DOME GRATE	83.50	79.49 - 6" (SW)	1478285.9	507943.0
L-35	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.50	78.83 ~ 6" (NW) 78.83 ~ 5" (SE)	1478231.4	507956.2
L-38	12" DTA, IN-LINE BRAIN BASIN WITH DOWE GRATE	83.50	78.19 - 6" (NW) 78.19 - 5" (SE)	1478206.1	507987.4
L=37	12" DIA, IN-LINE DRAIN BASIN WITH DONE GRATE	84.10	77.52 = 6" (SW) 77.52 - 6" (NE)	1478227.5	508023.6
L=38	12" DIA, IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	76.02 - 6° (5W) 78.02 - 6° (NE)	1479287.8	508103.
L=39	12" DIA. IN-LINE DRAIN BASIN WITH DONE GRATE	84.10	75,38 - 6" (NE) 75,38 - 6" (SW)	1478313.7	508137.4

Storm Structure Table						
Structure Number	Structure Type	Top Elev.	Inverte	Northly	Fasting	
, L-40	10" DA, HI-LINE DRAN SAGN WITH DONE DWITE	84.20	74.58 - 6" (SW) 74.68 - 6" (SE)	1478343.5	508173.7	
L-41	12° DIA. IN-LINE DRAIN BASIN WITH DOME CRATE	81,80	74.39 - 8" (NE)	1478316.7	508182,5	
L-42	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	73.76 - 6° (SE)	1478368.8	508204.9	
L-43	12° DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	81.80	73.60 - 6" (10W)	1478352.9	508243.8	
L-44	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	73.62 - 6" (SE)	1478395.1	508241.5	
L-45	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	73.56 - 6" (SE)	1478432.5	508289.3	
L-46	12" DIA, IN-LINE DRAIN BASIN WITH DOME GRATE	84,00	73.18 - 6" (SE)	1478477.3	508353.4	
L-47	12" DIA, IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	73.02 - 6" (SE)	1478507.6	508395.2	
(-48	12" DIA, IN-LINE DRAIN BASIN WITH DOME GRATE	81.80	72.87 - 8" (NW)	1478511,2	50B439.8	
L-49	12° DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	72.56 - 6° (NE)	1478662.1	508231.5	

PVC STORM PIPE LEGEND	
1) 20' OF 6" PMC STORM PIPE @ 1.00% (B) 19' OF 6" PMC STORM PIPE @ 1.00% (32) 56' OF 10" PMC STORM PIPE @ 0.75% (48) 15' OF 6" PMC STORM	RM PIPE 6 1.00%
2) 11' OF 6" PVC STORM PIPE 0 1.00% (7) 23' OF 6" PVC STORM PIPE 0 1.00% (33) 35' OF 10" PVC STORM PIPE 0 0.75% (49) 11' OF 6" PVC STORM	RM PIPE 0 1.00%
3 14' OF 6" PVC STORM PIPE @ 1.55% (B) 33' OF 6" PVC STORM PIPE @ 1.00% (50) 19' OF 5" PVC STORM PIPE @ 1.00% (50) 19' OF 5" PVC STORM	RM PIPE 0 1.00%
(4) 7' OF 6" PVC STORM PIPE (0 1,00% (9) 7' OF 6" PVC STORM PIPE (0 1,00% (35) 43' OF 6" PVC STORM PIPE (0 1,00% (5)) 11' OF 6" PVC STORM	RM PIPE @ 1.00%
(5) 35' OF 6" PVC STORM PIPE • 1.00% (20) 37' OF 6" PVC STORM PIPE • 1.00% (52) 33' OF 6" PVC STORM PIPE • 1.00% (52) 33' OF 6" PVC STORM	RM PIPE # 1.00%
(6) 24' OF 6" PVC STORM PIPE ● 1.00% (21) 12' OF 6" PVC STORM PIPE ● 1.00% (37) 100" OF 6" PVC STORM PIPE ● 1.00%	
(7) 18' 0F 6" PVC STORNU PIPE @ 1,00% (22) 27' 0F 6" PVC STORNU PIPE @ 1,00% (38) 43' 0F 6" PVC STORNU PIPE @ 1,00%	
(B) 15' OF 6" PVC STORN PIPE @ 1,00% (23) 51' OF 6" PVC STORN PIPE @ 1,00% (39) 47' OF 6" PVC STORN PIPE @ 1,00%	
(9) 16' OF 6" PVC STORN PIPE 0 1.00% (24) 19' OF 8" PVC STORN PIPE 0 1.88% (40) 18' OF 6" PVC STORN PIPE 0 1.00%	
(10) 21' OF 5" PVC STORM PIPE @ 1.00%	
(1) 40' OF 5" PVC STORM PIPE @ 1,00% (28) 19" OF 6" PVC STORM PIPE @ 2,11% (42) 40" OF 15" HOPE STORM PIPE @ 0,38%	
(12) 38 OF 6" PVC STORM PIPE @ 1.00% (27) 50' OF 10" PVC STORM PIPE @ 0.75% (3) 18' OF 5" PVC STORM PIPE @ 1.00%	
(3) 29' OF 6" PVC STORM PIPE @ 1.00% (28) 16' OF 6" PVC STORM PIPE @ 2.50% (46) 11' OF 6" PVC STORM PIPE @ 1.00%	
(4) 17" OF 6" PVC STORM PIPE @ 1,00% (29) 18" OF 10" PVC STORM PIPE @ 0,75% (45) 18" OF 6" PVC STORM PIPE @ 1,00%	
(15) 12" OF 6" PVC STORM PIPE © 1.00X (20) 17" OF 6" PVC STORM PIPE © 2.65X (48) 19" OF 6" PVC STORM PIPE © 1.00X	
(31) 22' OF 10" PMC STORM PIPE @ 0.75% (47) 15" OF 6" PMC STORM PIPE @ 1.00%	

0-5 124' 16" HDPC 0.30%

0-6 72' 16" HDPC 0.30%

0-7 91' 24" RGP 0.20%

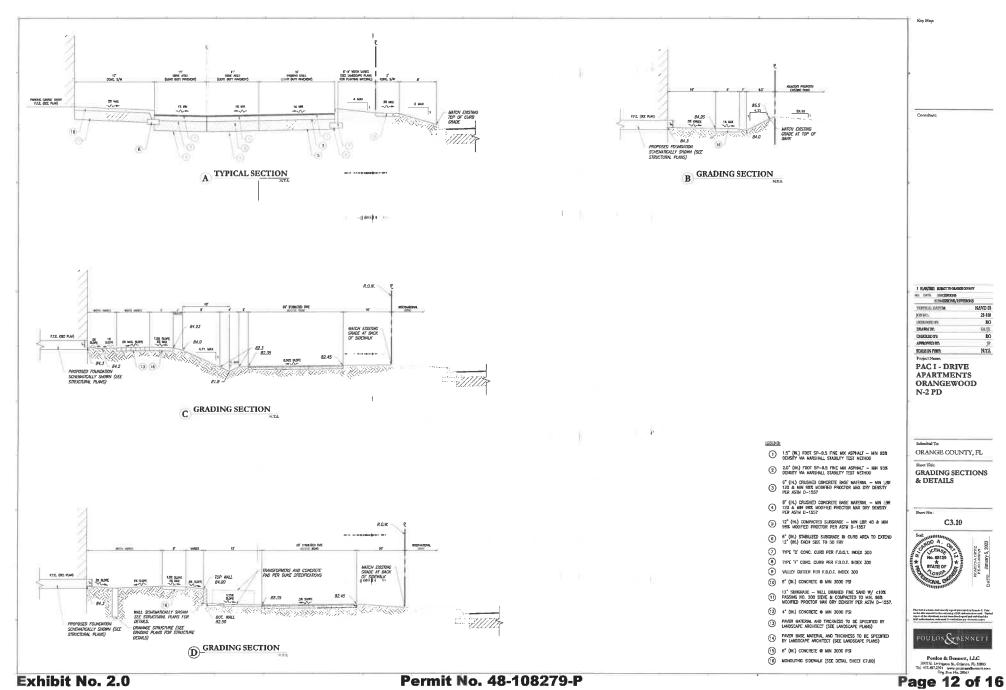
0-8 52' 24" RGP 0.20%

0-9 44' 24" RGP 0.20%

0-10 16' 30" RGP 0.138

Storm Pipe Table

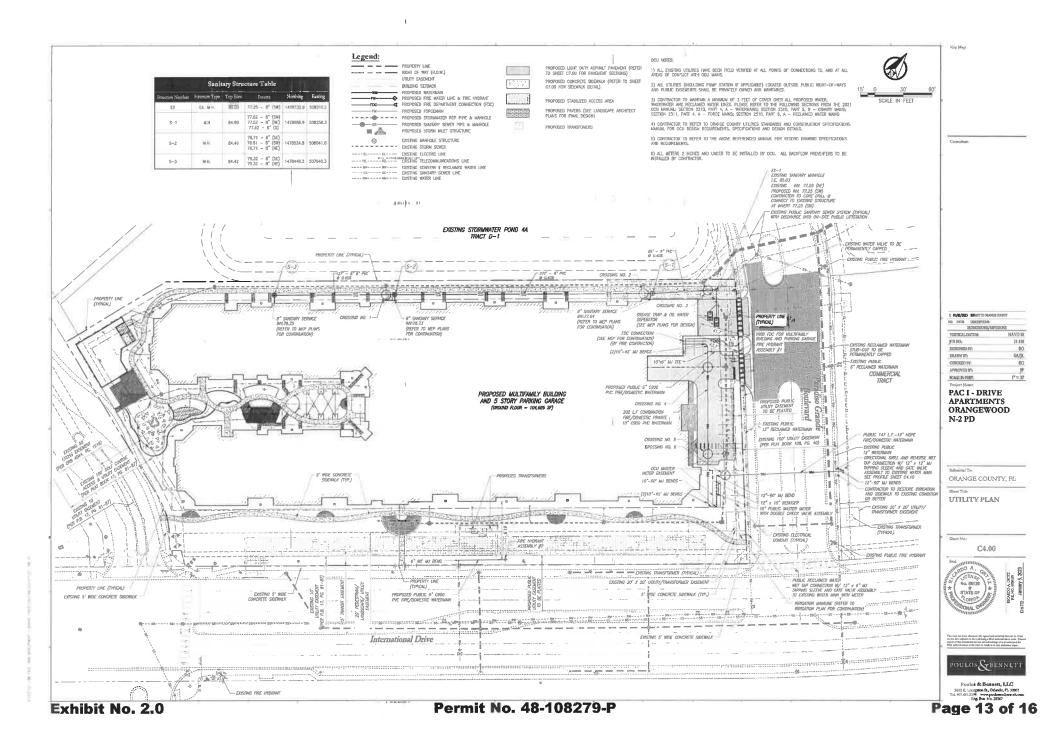
18" RCP 0.30% 24" RCP 0.20%

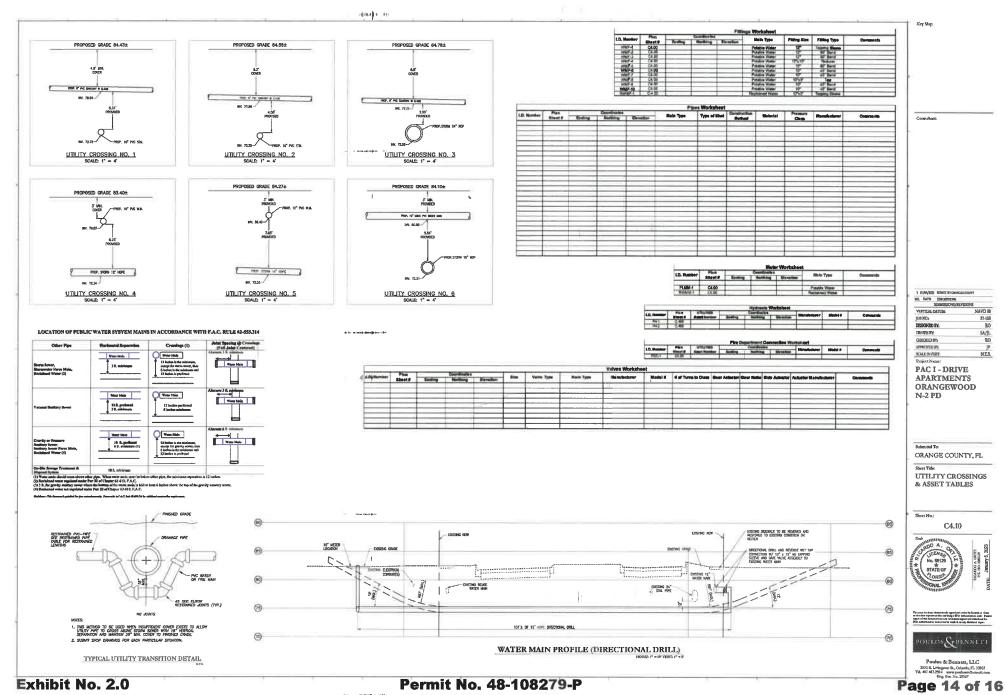


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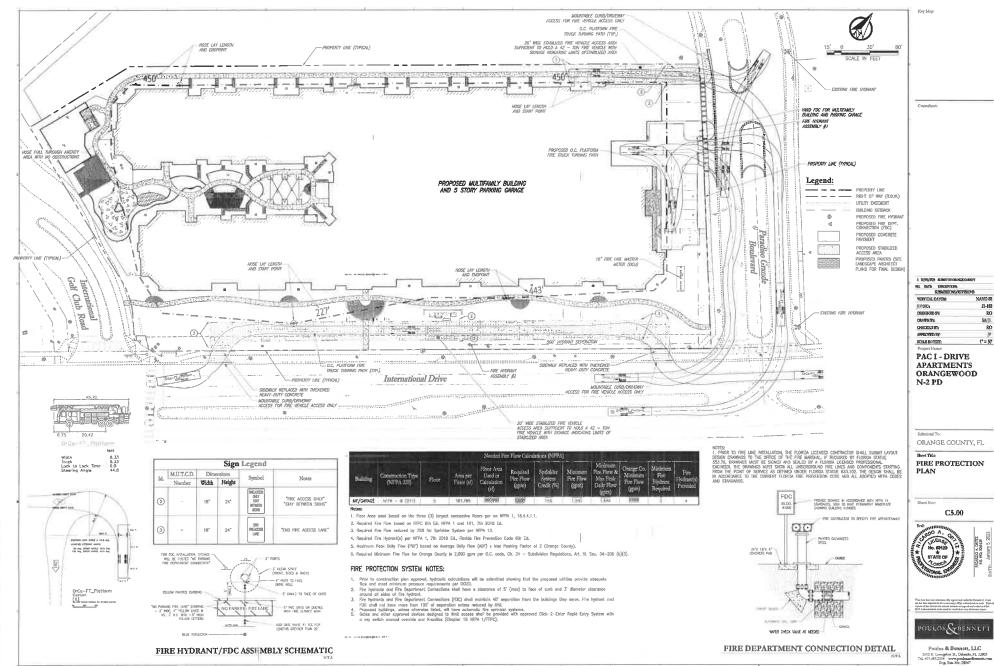
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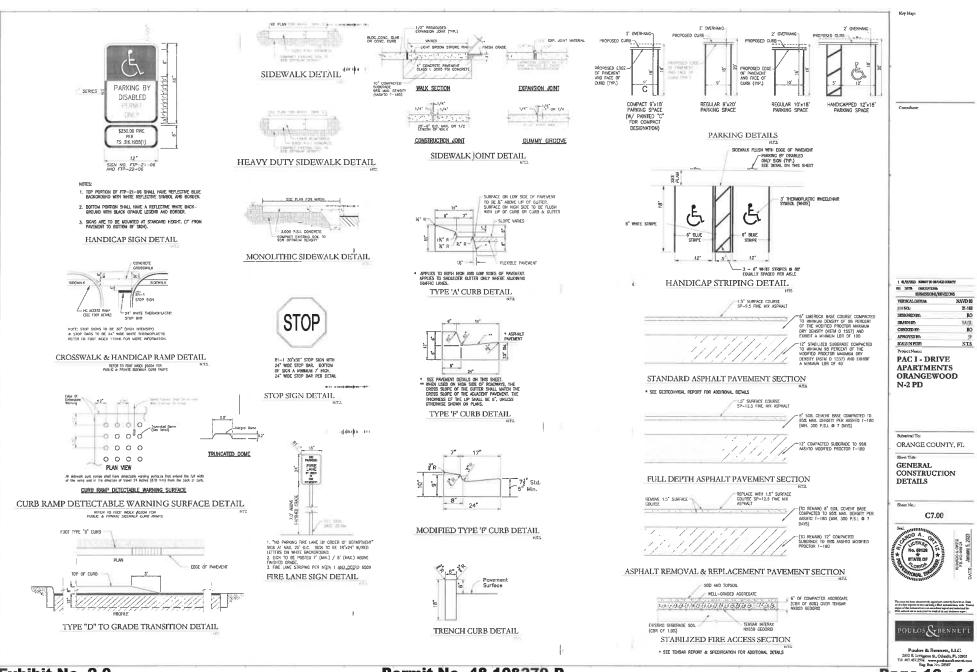
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# SECTION VII

# SECTION A

			Customer (	Call Log - Valencia Water Control Dis	trict		
Date	Name	Subdivision	Address	Issue	Pond/Canal Name	Resolution	Date Resolved
				Pond owned by the HOA needs to be maintained, the structure is blocked		Mr. Flint reached out to Mr. Wolkosz who is a representative of the Orangewood HOA. There is no management company, they are self maintained. Mr. Wolkosz advised	
C/12/22	David Mallean	White a record (One recovered LICA)	N1 / A	and water is staged much higher than it	C 12 Canal Track C	they would address the issues with the	TDD
6/12/23	David Wolkosz	Whisperwood (Orangewood HOA)	N/A	should be.  After 7/11/23 meeting, staff reviewed Waterview subdivision and confirmed that all District signage and poles were gone from the locations. Mr. Flint reached out to Mr. Dunwoody on the HOA to ask if they had any knowledge		pond and report back when it is fixed.  Mr. Dunwoody replied that neither he, nor rest of members of the BOD had any knowledge of how or who removed the signs and poles. Mr. Flint replied that the District would be re-installing them as soon	TBD
7/11/23	John Dunwoody	Waterview Reserve	N/A	of who may have removed them.	N/A	as possilble.	7/19/23
				Resident brought picture to clubhouse showing a gap in mowing between District and homeowner property behind several houses. Asked if District		Mr. Brown reviewed the area again and	
7/17/23	Michelle Moradi (HOA)	Parkview Pointe HOA	5803-5809 Plum Pudding Ct.	would mow it.	Parkview Pointe Pond	mowed the strip to match.	7/19/23
				7/17/23 due to unauthorized landscape and hardscape improvements the homeowner had installed within the District's access easement that needed to be removed. She called to find out where the 20' easement started as she thought her property went to the		Mr. Flint advised that the 20' easement started from the rear of her property line towards the house that needed to remain clear. She requested someone come out to show her in person. Mr. Flint met resident	
7/20/23	Sarah Reardon	Somerset	5410 E. Sacramento Court	Sent screenshot of gator in the water that a resident/person posted on social media. Said it was alledgely in one of their ponds at the community entrance.	Somerset Pond 2	at the property on 7/31/23.  Stacie V. reached out to FWC to attempt to permit a tracker but could not due to not knowing the exact location nor size of gator. Reported back to Maria that more information was needed from the resident or the resident needed to call FWC and provide Valencia with reference number to	7/31/23
7/24/23	Maria Cardenas (HOA)	Windsor Walk HOA	N/A	Asked if Valencia would report to FWC.	Windsor Walk Ponds	authorize the trapper.	7/25/23
7/25/23	Ursula Annunziata	Deer Creek	5414 Deer Creek Drive	Advised pond behind home and others in the neighborhood were in need of treatment.	Deer Creek Pond 4	Stacie V. reached out to aquatic vendor and they advised tech would be out by end of the week. Resident called back on 7/27/23 to confirm technician was on site and treatment was done.	7/27/23
				Wanted to know who maintaned pond behind home as it was overgrown with		Stacie V. advised resident that the pond was owned by the Deer Creek Village HOA and not tied to the District's stormwater management system. Instructed her to call the association manager or clubhouse manager to inquire on treatment. Also sent	
8/2/23	Jamie Green	Deer Creek	5244 Deer Creek Drive	vegetation.	Deer Creek Village HOA Pond	message to HOA contact via e-mail.	8/3/23