

*Valencia Water
Control District*

Agenda

August 8, 2023

AGENDA

**VALENCIA WATER CONTROL DISTRICT
NOTICE OF MEETING
OF
BOARD OF SUPERVISORS**

Please be advised that the Meeting of the Board of Supervisors of Valencia Water Control District will be held on Tuesday, August 8, 2023 at 1:00 P.M. in the **Lake Ridge Village Clubhouse, 10630 Larissa Street (Directions listed below)**. Attached is an Agenda for the meeting.



George S. Flint, District Director

DIRECTIONS TO MEETING:

From Orlando go West on I-4 to the Beach Line Expressway (528); go east past International Drive to Orangewood Blvd.; Go South on Orangewood Blvd., through 4-way stop at Gateway, turn left on Larissa Street. Proceed to Lake Ridge Village Clubhouse on right.

DISTRIBUTION

Roy Miller; William Ingle; Debra Donton; Brian Andreleczyk; Amanda Whitney; David E. Mahler; Stephen F. Broome; Green Briar Village Clubhouse; Lake Ridge Village Clubhouse; Lime Tree Village Clubhouse; Montpelier Village Clubhouse; Parkview Pointe Village Clubhouse; Somerset Village Clubhouse; Deer Creek Village Clubhouse; Wingate Club; Lyle Spector, WHOA; and Tom Johnson, Orangewood HOA; Roy Miller, Waterview HOA; and Ken LaFrance, Windsor Walk.

“Persons are advised that if they decide to appeal any decisions made at these meetings/hearings, they will need a record of the proceedings and for such purpose they may need to ensure that a verbatim record of the proceedings is made which includes the testimony and evidence upon which the appeal is to be based, per section 298.0105, Florida Statutes.”

“In accordance with the Americans with Disabilities Act, persons with disabilities needing a special accommodation should contact Valencia Water Control District at (407) 841-5524 x 101, not later than forty-eight hours prior to the meeting.”

AGENDA

August 8, 2023

VALENCIA WATER CONTROL DISTRICT
BOARD OF SUPERVISORS MEETING
1 P.M.

LAKE RIDGE VILLAGE CLUBHOUSE
10630 LARISSA STREET
WILLIAMSBURG, ORLANDO, FLORIDA 32821

Item

1. Call Meeting to Order
2. Public Comment Period
3. Approval of July 11, 2023 Monthly Meeting Minutes
4. General Fund Financial Reports
5. Engineer's Report
 - A. Approval of Permit #0528 – PAC I-Drive Apartments
6. Attorney's Report
7. Director's Report
 - A. Customer Call Log
8. Other Business
9. Adjournment

MINUTES

**MINUTES OF THE ANNUAL MEETING
OF THE BOARD OF SUPERVISORS
OF VALENCIA WATER CONTROL DISTRICT**

July 11, 2023

The annual meeting of the Board of Supervisors of **VALENCIA WATER CONTROL DISTRICT** was held at 1:00 P.M. on Tuesday, July 11, 2023, at the Lake Ridge Village Clubhouse, 10630 Larissa Street, Orlando, Florida. Physically present were Supervisors Roy Miller, Debra Donton, Brian Andrelczyk and Amanda Whitney. Also, in attendance were the following: George Flint, District Director, Stephen Broome, District Counsel; David Mahler, District Engineer; Stacie Vanderbilt, District Administrative Assistant; and Dan Brown, Sthern Environmental.

ITEM #1

Call Meeting to Order

Mr. Flint called the meeting to order at 1:00 P.M. A quorum of four Board members were present.

ITEM #2

Public Comment Period

No members of the public were present to provide public comment.

ITEM #3

Approval of June 13, 2023 Annual Meeting Minutes

Mr. Flint stated the next item was the minutes from the June 13, 2023 annual meeting. He asked if there were any corrections, deletions, or additions.

On MOTION by Mr. Miller, seconded by Ms. Donton with all in favor the Minutes from the June 13, 2023 Monthly Meeting were approved as presented.
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ITEM #4

General Fund Financial Reports

Mr. Flint reviewed the financial statements with the Board and noted that they have collected about \$500,000 in assessments and will check on delinquent assessments. The administrative and capital projects look good.

ITEM #5

Engineer's Report

A. Permit #0527 – Sea World Orlando 2024 Project

Mr. Mahler stated there is a minor modification of the master permit to build a new ride in 2024. It doesn't change the discharge rate and he recommended approval.

On MOTION by Ms. Donton, seconded by Mr. Andrearczyk with all in favor Permit #0527 – Sea World Orlando 2024 Project, was approved.

ITEM #6

Attorney's Report

Mr. Broome had nothing new to report to the Board.

ITEM #7

Director's Report

A. Customer Call Log

Mr. Flint reviewed the log with the Board. The first call with Orangewood HOA is regarding maintenance of their pond because debris and vegetation is blocking the District's structure. The HOA is self-managed by the resident, no management company. Mr. Flint advised that he got in touch with one of the current Board members who assured that they would get it handled and let the District know. Another call was a resident in Deer Creek wanting to plant a tree in the District's maintenance easement. Mr. Flint stated that he had to tell the resident it wasn't allowed per the plat.

ITEM #8

Other Business

Mr. Miller stated all of the signs in Waterview are gone, the poles and signs have all been removed. He asked if any of the residents had called to report it.

Ms. Vanderbilt replied no one had contacted her directly.

Mr. Brown stated he will go to Waterview right after the meeting and review the area.

ITEM #9

Adjournment

On MOTION by Ms. Donton, seconded by Mr. Miller, the meeting was adjourned at 1:10 pm.

Stephen F. Broome, Secretary

William Von Ingle

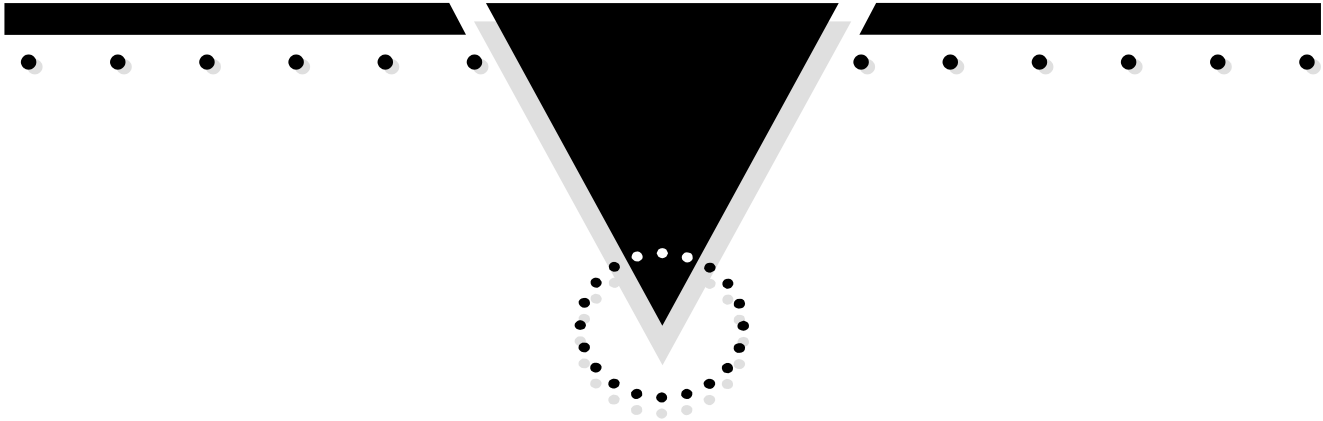
Amanda Whitney

Debra Donton

Roy Miller

Brian Andreleczyk

SECTION IV



**Valencia
Water Control District**

Unaudited Financial Reporting

July 31, 2023



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VALENCIA
WATER CONTROL DISTRICT
BALANCE SHEET
July 31, 2023

	General Fund	Capital Reserve Fund	Totals 2023
<u>ASSETS:</u>			
<i>CURRENT ASSETS</i>			
OPERATING - TRUIST	\$198,116	---	\$198,116
CAPITAL RESERVE - TRUIST	---	\$276,921	\$276,921
<u>INVESTMENTS</u>			
SBA - CAPITAL RESERVES	---	\$780,006	\$780,006
SBA - OPERATING RESERVES	\$41,238	---	\$41,238
PETTY CASH	\$100	---	\$100
TOTAL CURRENT ASSETS	\$239,454	\$1,056,927	\$1,296,380
<u>FIXED ASSETS</u>			
LAND	\$700,120	---	\$700,120
STRUCTURES	\$672,531	---	\$672,531
CANALS	\$2,888,690	---	\$2,888,690
PONDS	\$1,245,537	---	\$1,245,537
EQUIPMENT & OFFICE FURNITURE	\$12,767	---	\$12,767
ACCUMULATED DEPRECIATION	(\$4,786,726)	---	(\$4,786,726)
TOTAL FIXED ASSETS	\$732,919	\$0	\$732,919
TOTAL ASSETS	\$972,373	\$1,056,927	\$2,029,300
<u>LIABILITIES:</u>			
ACCOUNTS PAYABLE	---	---	\$0
<u>FUND EQUITY:</u>			
<i>FUND BALANCES:</i>			
UNASSIGNED	\$239,454	\$1,056,927	\$1,296,380
NET ASSETS CAPITALIZED	\$732,919	---	\$732,919
TOTAL LIABILITIES & FUND EQUITY	\$972,373	\$1,056,927	\$2,029,300

VALENCIA

WATER CONTROL DISTRICT

GENERAL FUND

Statement of Revenues & Expenditures

For The Period Ending July 31, 2023

	ADOPTED BUDGET	PRORATED BUDGET THRU 7/31/23	ACTUAL THRU 7/31/23	VARIANCE
<u>REVENUES:</u>				
ASSESSMENTS - TAX ROLL	\$553,302	\$553,302	\$538,950	(\$14,352)
INTEREST	\$100	\$83	\$1,670	\$1,587
MISCELLANEOUS REVENUE	\$0	\$0	\$294	\$1,376
TOTAL REVENUES	\$553,402	\$553,385	\$540,914	(\$11,389)
<u>EXPENDITURES:</u>				
<u>ADMINISTRATIVE:</u>				
SUPERVISORS FEES	\$2,500	\$2,083	\$1,750	\$333
ENGINEERING	\$37,200	\$31,000	\$16,800	\$14,200
ATTORNEY	\$12,000	\$10,000	\$10,000	\$0
ANNUAL AUDIT	\$5,200	\$5,200	\$5,200	\$0
ASSESSMENT ROLL CERTIFICATION	\$2,500	\$2,500	\$2,500	\$0
MANAGEMENT FEES	\$50,264	\$41,887	\$41,887	(\$0)
INFORMATION TECHNOLOGY	\$1,300	\$1,083	\$1,083	\$0
WEBSITE ADMINISTRATION	\$800	\$667	\$667	(\$0)
INSURANCE	\$14,710	\$14,710	\$13,179	\$1,531
REPORT PREPARATION - NPDES	\$15,000	\$12,500	\$3,364	\$9,136
OFFICE LEASE	\$12,980	\$10,817	\$3,430	\$7,387
PRINTING & BINDING	\$500	\$417	\$396	\$20
POSTAGE	\$500	\$417	\$370	\$47
TRAVEL PER DIEM	\$100	\$83	\$0	\$83
LEGAL ADVERTISING	\$2,500	\$2,083	\$820	\$1,264
BANK FEES	\$500	\$417	\$440	(\$23)
OTHER CURRENT CHARGES	\$400	\$333	\$0	\$333
OFFICE SUPPLIES	\$350	\$292	\$140	\$151
ELECTION FEES	\$3,750	\$3,750	\$5,448	(\$1,698)
MEETING RENTAL FEE	\$500	\$417	\$400	\$17
PROPERTY APPRAISER FEE	\$5,417	\$0	\$0	\$0
DUES, LICENSES & SUBSCRIPTIONS	\$2,150	\$1,675	\$1,675	\$0
TOTAL ADMINISTRATIVE	\$171,121	\$142,330	\$109,549	\$32,781

VALENCIA

WATER CONTROL DISTRICT

GENERAL FUND

Statement of Revenues & Expenditures

For The Period Ending July 31, 2023

	ADOPTED BUDGET	PRORATED BUDGET THRU 7/31/23	ACTUAL THRU 7/31/23	VARIANCE
<u>FIELD OPERATIONS:</u>				
<u>UTILITIES:</u>				
ELECTRIC	\$750	\$625	\$50	\$575
WATER & SEWER	\$500	\$417	\$55	\$362
<u>CONTRACTS:</u>				
AQUATIC WEED CONTROL	\$40,000	\$33,333	\$27,721	\$5,613
MOWING	\$98,289	\$72,742	\$72,742	\$0
WATER QUALITY MONITORING	\$19,746	\$16,455	\$14,735	\$1,721
<u>REPAIRS & MAINTENANCE:</u>				
CANAL & RETENTION POND MAINTENANCE	\$40,000	\$33,333	\$16,688	\$16,646
OFFICE	\$500	\$416	\$45	\$371
SECURITY GATES & SIGNS	\$750	\$625	\$0	\$625
<u>OTHER:</u>				
NPDES INSPECTION & FEES	\$6,000	\$5,000	\$2,875	\$2,125
OPERATING SUPPLIES	\$500	\$417	\$0	\$417
CONTINGENCY	\$2,500	\$2,083	\$0	\$2,083
TOTAL FIELD OPERATIONS	\$209,534	\$165,447	\$134,909	\$30,537
<u>OTHER USES</u>				
TRANSFER OUT - CAPITAL RESERVE	\$267,402	\$267,402	\$267,402	\$0
TOTAL OTHER USES	\$267,402	\$267,402	\$267,402	\$0
TOTAL EXPENDITURES	\$648,057	\$575,179	\$511,860	\$63,318
EXCESS REVENUES (EXPENDITURES)	(\$94,655)		\$29,054	
FUND BALANCE - Beginning	\$94,656		\$943,319	
FUND BALANCE - Ending	\$0		\$972,373	

VALENCIA

WATER CONTROL DISTRICT

CAPITAL RESERVE FUND

Statement of Revenues & Expenditures

For The Period Ending July 31, 2023

	ADOPTED BUDGET	PRORATED BUDGET THRU 7/31/23	ACTUAL THRU 7/31/23	VARIANCE
<u>REVENUES:</u>				
TRANSFER IN	\$267,402	\$267,402	\$267,402	\$0
INTEREST	\$100	\$83	\$29,003	\$28,920
TOTAL REVENUES	\$267,502	\$267,485	\$296,405	\$28,920
<u>EXPENDITURES:</u>				
<u>EXPENDITURES</u>				
CONTINGENCY	\$500	\$417	\$395	\$21
CAPITAL IMPROVEMENTS	\$100,000	\$83,333	\$105,528	(\$22,194)
TOTAL EXPENDITURES	\$100,500	\$83,750	\$105,923	(\$22,173)
EXCESS REVENUES (EXPENDITURES)	\$167,002		\$190,482	
FUND BALANCE - Beginning	\$760,956		\$866,445	
FUND BALANCE - Ending	\$927,958		\$1,056,927	

VALENCIA
Water Control District

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Total
REVENUES:													
ASSESSMENTS - TAX ROLL	\$0	\$27,178	\$201,001	\$101,152	\$92,506	\$44,018	\$15,103	\$35,485	\$13,092	\$9,415	\$0	\$0	\$538,950
INTEREST	\$143	\$173	\$197	\$210	\$198	\$210	\$171	\$184	\$182	\$2	\$0	\$0	\$1,670
MISCELLANEOUS REVENUE	\$0	\$0	\$212	\$82	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$294
TOTAL REVENUES	\$143	\$27,351	\$201,410	\$101,444	\$92,705	\$44,227	\$15,274	\$35,669	\$13,274	\$9,417	\$0	\$0	\$540,914
EXPENDITURES:													
ADMINISTRATIVE:													
SUPERVISORS FEES	\$250	\$250	\$0	\$0	\$150	\$250	\$250	\$250	\$150	\$200	\$0	\$0	\$1,750
ENGINEERING	\$2,100	\$2,100	\$2,100	\$2,100	\$2,100	\$2,100	\$2,100	\$2,100	\$0	\$0	\$0	\$0	\$16,800
ATTORNEY	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$0	\$0	\$10,000
ANNUAL AUDIT	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,200	\$0	\$0	\$0	\$5,200
ASSESSMENT ROLL CERTIFICATION	\$2,500	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,500
MANAGEMENT FEES	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$4,189	\$0	\$0	\$41,887
INFORMATION TECHNOLOGY	\$108	\$108	\$108	\$108	\$108	\$108	\$108	\$108	\$108	\$108	\$0	\$0	\$1,083
WEBSITE ADMINISTRATION	\$67	\$67	\$67	\$67	\$67	\$67	\$67	\$67	\$67	\$67	\$0	\$0	\$667
INSURANCE	\$13,179	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$13,179
REPORT PREPARATION - NPDES	\$1,515	\$484	\$0	\$525	\$570	\$180	\$90	\$0	\$0	\$0	\$0	\$0	\$3,364
OFFICE LEASE	\$1,883	\$130	\$130	\$130	\$193	\$193	\$193	\$193	\$193	\$193	\$0	\$0	\$3,430
PRINTING & BINDING	\$0	\$100	\$50	\$0	\$0	\$96	\$38	\$28	\$85	\$0	\$0	\$0	\$396
POSTAGE	\$0	\$104	\$47	\$3	\$6	\$72	\$46	\$47	\$46	\$0	\$0	\$0	\$370
TRAVEL PER DIEM	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
LEGAL ADVERTISING	\$0	\$0	\$0	\$0	\$0	\$167	\$208	\$445	\$0	\$0	\$0	\$0	\$820
BANK FEES	\$74	\$39	\$39	\$39	\$38	\$39	\$54	\$39	\$39	\$39	\$0	\$0	\$440
OTHER CURRENT CHARGES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
OFFICE SUPPLIES	\$0	\$47	\$19	\$0	\$0	\$18	\$19	\$19	\$19	\$0	\$0	\$0	\$140
ELECTION FEES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,448	\$0	\$0	\$0	\$0	\$5,448
MEETING RENTAL FEE	\$50	\$50	\$0	\$0	\$50	\$50	\$50	\$50	\$50	\$50	\$0	\$0	\$400
PROPERTY APPRAISER FEE	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
DUES, LICENSES & SUBSCRIPTIONS	\$1,675	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,675
TOTAL ADMINISTRATIVE	\$28,590	\$8,667	\$7,748	\$8,161	\$8,471	\$8,528	\$8,411	\$13,982	\$11,144	\$5,846	\$0	\$0	\$109,549

VALENCIA
Water Control District

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Total
<u>FIELD OPERATIONS:</u>													
<u>UTILITIES:</u>													
ELECTRIC	\$50	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$50
WATER & SEWER	\$27	\$28	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$55
<u>CONTRACTS:</u>													
AQUATIC WEED CONTROL	\$4,572	\$2,322	\$2,322	\$2,322	\$2,322	\$4,572	\$2,322	\$2,322	\$2,322	\$2,322	\$0	\$0	\$27,721
MOWING	\$15,885	\$4,590	\$0	\$0	\$0	\$0	\$15,892	\$15,892	\$15,892	\$4,590	\$0	\$0	\$72,742
WATER QUALITY MONITORING	\$1,646	\$1,646	\$1,571	\$1,646	\$1,646	\$1,646	\$1,646	\$1,646	\$1,646	\$0	\$0	\$0	\$14,735
<u>REPAIRS & MAINTENANCE:</u>													
CANAL & RETENTION POND MAINTENANCE	\$1,473	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$2,500	\$5,840	\$875	\$0	\$0	\$16,688
OFFICE	\$0	\$45	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$45
SECURITY GATES & SIGNS	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
<u>OTHER:</u>													
NPDES INSPECTION & FEES	\$0	\$0	\$1,875	\$0	\$0	\$0	\$0	\$0	\$1,000	\$0	\$0	\$0	\$2,875
OPERATING SUPPLIES	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
CONTINGENCY	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL FIELD OPERATIONS	\$23,652	\$9,631	\$6,768	\$4,968	\$4,968	\$7,218	\$20,860	\$22,360	\$26,700	\$7,787	\$0	\$0	\$134,909
<u>OTHER USES:</u>													
TRANSFER OUT - CAPITAL RESERVE	\$0	\$0	\$0	\$200,000	\$67,402	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$267,402
TOTAL OTHER USES	\$0	\$0	\$0	\$200,000	\$67,402	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$267,402
TOTAL EXPENDITURES	\$52,241	\$18,298	\$14,516	\$213,128	\$80,841	\$15,746	\$29,271	\$36,342	\$37,844	\$13,633	\$0	\$0	\$511,860
EXCESS REVENUES (EXPENDITURES)	(\$52,098)	\$9,054	\$186,894	(\$111,685)	\$11,864	\$28,481	(\$13,997)	(\$673)	(\$24,570)	(\$4,216)	\$0	\$0	\$29,054

**VALENCIA
WATER CONTROL DISTRICT**

SPECIAL ASSESSMENT RECEIPTS - FY2023

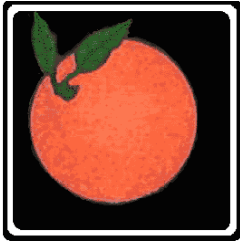
TAX COLLECTOR

Gross Assessments \$ 576,853 \$ 576,853
Net Assessments \$ 548,011 \$ 548,011

Date Received	Dist.#	Gross Assessments Received	Discounts/ Penalties	Commissions Paid	Interest Income	Net Amount Received	General Fund 100.00%	Total 100%
11/1/22	1	\$ 2,322.26	\$ 116.75	\$ 22.06	\$ -	\$ 2,183.45	\$ 2,183.45	\$ 2,183.45
11/14/22	2	\$ 5,472.64	\$ 217.65	\$ 52.55	\$ -	\$ 5,202.44	\$ 5,202.44	\$ 5,202.44
11/21/22	3	\$ 20,824.16	\$ 831.99	\$ 199.92	\$ -	\$ 19,792.25	\$ 19,792.25	\$ 19,792.25
12/5/22	4	\$ 122,978.48	\$ 4,918.71	\$ 1,180.60	\$ -	\$ 116,879.17	\$ 116,879.17	\$ 116,879.17
12/14/22	5	\$ 56,352.32	\$ 2,253.76	\$ 540.99	\$ 231.02	\$ 53,788.59	\$ 53,788.59	\$ 53,788.59
12/19/22	6	\$ 31,915.66	\$ 1,276.38	\$ 306.39	\$ -	\$ 30,332.89	\$ 30,332.89	\$ 30,332.89
1/11/23	7	\$ 106,429.60	\$ 4,255.80	\$ 1,021.74	\$ -	\$ 101,152.06	\$ 101,152.06	\$ 101,152.06
2/1/23	8	\$ 62,931.88	\$ 2,507.27	\$ 604.25	\$ -	\$ 59,820.36	\$ 59,820.36	\$ 59,820.36
2/13/23	9	\$ 34,378.45	\$ 1,362.40	\$ 330.16	\$ -	\$ 32,685.89	\$ 32,685.89	\$ 32,685.89
3/14/23	10	\$ 43,861.18	\$ 1,732.79	\$ 421.28	\$ 2,310.41	\$ 44,017.52	\$ 44,017.52	\$ 44,017.52
4/12/23	11	\$ 15,782.04	\$ 526.83	\$ 152.55	\$ -	\$ 15,102.66	\$ 15,102.66	\$ 15,102.66
5/11/23	12	\$ 36,853.90	\$ 1,010.26	\$ 358.44	\$ -	\$ 35,485.20	\$ 35,485.20	\$ 35,485.20
6/13/23	13	\$ 12,490.97	\$ 91.57	\$ 123.99	\$ 816.74	\$ 13,092.15	\$ 13,092.15	\$ 13,092.15
7/12/23	14	\$ 9,415.29	\$ -	\$ -	\$ -	\$ 9,415.29	\$ 9,415.29	\$ 9,415.29
		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
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		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Totals		\$ 562,008.83	\$ 21,102.16	\$ 5,314.92	\$ 3,358.17	\$ 538,949.92	\$ 538,949.92	\$ 538,949.92

SECTION V

SECTION A



VALENCIA WATER CONTROL DISTRICT
219 E. LIVINGSTON STREET, ORLANDO, FL 32801
PHONE: 407-841-5524 X 101 - FAX: 407-839-1526

August 8, 2023

PAC I-Drive Apartments, LLC
Attn: Tom Cavanaugh
730 Bonnie Brae Street
Winter Park, FL 32789

Subject: Permit #0528

Dear Mr. Cavanaugh:

PAC I-Drive Apartments, LLC is hereby granted a construction permit related to a Multi-family project, PAC I-Drive Apartments Orangewood N-2/Grande Pines Parcel 11D. Approval is granted in accordance with approved plans and hydraulic calculations and the following **GENERAL AND SPECIFIC CONDITIONS:**

GENERAL CONDITIONS:

1. That the District or their agents may at any time make such inspections as they may deem necessary to ensure that the construction or work is performed in accordance with the conditions of this permit.
2. That the permittee will maintain the work authorized herein during construction and thereafter in good condition in accordance with the approved plans.
3. That the permittee shall comply promptly with any lawful regulations, conditions, or instructions affecting the structure or work authorized herein if and when issued by the U.S. Environmental Protection Agency, the South Florida Water Management District and the Florida Department of Environmental Protection and/or any county or city environmental protection agency having jurisdiction to abate or prevent water pollution, including thermal or radiation pollution. Such regulations, conditions, or instructions in effect or hereafter prescribed by the federal, state, county and city agencies have hereby made a condition of this permit.
4. It is understood and agreed that the rights and privileges herein set out are granted only to the extent of the District's right, title and interest in the land to be entered upon and used by the permittee, and the permittee will at all times, assume all risk and indemnify, defend and save harmless Valencia Water Control District from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercises by the permittee of the aforesaid rights and privileges.

5. The permittee and/or their agents will use every measure to prevent the run-off of turbid water into the District's facilities including, but not limited to, the use of temporary ponds, silt barriers, chemical additives and temporary grassing during construction.
6. If discharge of water by permittee should at any time raise the level of pollutants in the District's water management facility to the point where the District is in violation of a statute or regulation, permittee will either: (a) immediately cease such discharge, (b) remove pollutants from the water before discharging into District facilities, and pay all costs which the District must incur in order to reduce pollution in the District's facilities to acceptable levels.
7. That all the provisions of this permit shall be binding on any assignee or successor in interest of the permittee.
8. That any modification, suspension or revocation of this permit shall not be the basis for a claim for damages against Valencia Water Control District.
9. The Valencia Water Control District agrees that the issuance of this permit allows the passage of water through their canals but in so doing does not assume any responsibility for damage to any persons or property.
10. That the engineer of record certify that the facilities as constructed comply with the submitted hydraulic calculations and approved drawings.
11. That the permittee agrees not to modify or alter the constructed facilities at any future time without the express consent of the District.
12. This permit is valid for 3 years from date of approval or runs concurrently with the SFWMD permit, if required, whichever expires first.
13. That this permit must be executed within 30 days of Board approval or must be brought back to the Board for reconsideration.

END OF GENERAL CONDITIONS

SPECIFIC CONDITIONS

1. That the Construction Plans, sheets C0.00; C0.10 – C0.12; C0.20; C0.21; C1.00; C2.00; C2.10; C3.00 – C3.10; C3.10; C4.00; C4.10; C5.00; C7.00; C7.10 – C7.12; 1 – 2; L0.00; L0.01; L0.11; L0.12; L0.13; L0.14; L0.15; L1.00 – L1.86; L2.00 – L2.18; L3.00 – L3.81; L4.00 – L4.91; L5.00 – L5.83; L6.00 – L6.04; Z101 – Z102; and E02-01 titled PAC I-Drive Apartments Orangewood N-2 PD/Grande Pines Parcel 11D as recommended for approval by the District Engineer on August 3, 2023, become part of this permit.

Attest:

Signature: _____

PAC I-Drive Apartments, LLC

Title: _____

Attest:

Granted by:

Valencia Water Control District

By: _____

Roy Miller, President

On this ____ day of _____, 2023



1117 East Robinson Street
Orlando, Florida 32801
Phone: 407.425.0452

August 3, 2023

Mr. George Flint, P.E., Director
Valencia Water Control District
219 E Livingston Street
Orlando, Florida 32801

RE: Grand Pines PAC I-Drive Apartments
VWCD Permit No. 528
CPH Project No. 6816.07

Dear Honorable Board Members:

We have completed our review of the above referenced project submitted by Poulos & Bennett, LLC on August 1, 2023. Based on our review we have no objection to the Board approving this permit.

Sincerely,

CPH, LLC

A handwritten signature in blue ink, appearing to read 'D. Mahler', is written over the typed name.

David E. Mahler, P.E.
District Engineer

Cc: Rick Ortiz, P.E., Poulos & Bennett

Permit No. _____
(Assigned by V.W.C.D.)

PERMIT APPLICATION
Valencia Water Control District
c/o CPH, Inc.
1117 E. Robinson Street
Orlando, FL 32801
VWCD Office: (407) 841-5524 X 101 CPH, Inc. (407) 425-0452

(1) PROPOSED USE: Multifamily Project PAC I-Drive Apartments Orangewood N-2 PD/Grande Pines
Parcel 11D

(2) LOCATION OF WORK: Block: 6283 Lot: 00 Subdivision: 110
or Section: 13 Township: 24 Range: 28

(3) DISTRICT WORKS INVOLVED: Ultimate discharge into C-1 canal after treatment in on-site ponds.

(4) OWNER OF PROPOSED WORK OR STRUCTURE: Phone #: 407-628-3065
Name: Tom Cavanaugh, PAC I-Drive Apartments, LLC
Address: 730 Bonnie Brae Street, Winter Park, FL 32789
(Street) (City) (State) (Zip)

(5) APPLICATION OTHER THAN OWNER: (if any) Phone #: _____
Name: _____ Serving as: _____
Address: _____
(Street) (City) (State) (Zip)

(6) AREA PROPOSED TO BE SERVED: Give legal description and size in acres. Attach legal description if necessary. If land is platted, indicate Block, Lot and Subdivision. _____

See legal description

(7) CONSTRUCTION SCHEDULE: The proposed work, if permitted, will begin within 8/25/2023
Calendar days of permit approval and be completed within 365 calendar days thereafter.

(8) This application, including sketches, drawings or plans and specifications attached contains a full and complete description of work proposed or use desired of the above described facilities of the District and for which permit is herewith applied. It shall be a part of any permit that may be issued. It is agreed that all work or the use of the District's facilities will be in accordance with the permit to be granted.

Submitted this 27th day of July, 2021
Signature of Property Owner (Officer of Corporation): [Signature]
Print Name of Property Owner (Officer): Tom Cavanaugh

Construction Plans

for

PAC I-Drive Apartments

Orangewood N-2 PD/Grande Pines Parcel 11D

Orange County, FL

LEGAL DESCRIPTION: Commercial Parcel South

A parcel of land comprising a portion of Golf Course Parcel 11, Orangewood Neighborhood 2, as recorded in Plat Book 17, Pages 91 through 97, Public Records of Orange County, Florida.

Being more particularly described as follows:

COMMENCE at the Southwest corner of aforesaid Parcel 11, also being a point on the Westerly right-of-way line of International Drive; thence run North 52° 53' 14" East along said Westerly right-of-way line for a distance of 50.06 feet to the **POINT OF BEGINNING**; thence departing said Westerly right-of-way line run the following courses North 50° 36' 35" West for a distance of 16.89 feet; thence run South 52° 53' 17" West for a distance of 9.63 feet; thence run South 37° 05' 43" East for a distance of 5.12 feet; thence run South 52° 53' 14" West for a distance of 2.03 feet; thence run North 40° 05' 58" West for a distance of 24.55 feet to the point of curvature of a curve, concave Southwesterly having a radius of 83.00 feet, with a chord bearing of North 53° 59' 09" West, and a chord distance of 39.84 feet; thence run Northwesterly along the arc of said curve through a central angle of 27° 45' 21" for an arc distance of 40.23 feet to a point of tangency; thence run North 67° 52' 19" West for a distance of 189.74 feet; thence run North 22° 07' 41" East for a distance of 123.20 feet; thence run North 52° 53' 14" East for a distance of 600.38 feet to a point on a non tangent curve, concave Southwesterly having a radius of 271.33 feet, with a chord bearing of South 41° 17' 25" East, and a chord distance of 19.60 feet; thence run Southwesterly along the arc of said curve through a central angle of 04° 08' 24" for an arc distance of 19.61 feet to a point of tangency; thence run South 39° 13' 13" East for a distance of 280.59 feet to a point on aforesaid Westerly right-of-way line of International Drive also being a point on a non tangent curve concave Northwesterly having a radius of 1504.61 feet, with a chord bearing of South 52° 40' 03" West, and a chord distance of 14.36 feet; thence run the following courses along said Westerly right-of-way line: Southwesterly along the arc of said curve through a central angle of 00° 25' 57" for an arc distance of 14.36 feet to a point on a non tangent line; thence run South 52° 53' 14" West a distance of 575.13 feet to the **POINT OF BEGINNING**.

Containing 4.46 acres

Parcel Id. No.:
13-24-28-6283-00-110

Owner/Developer/Applicant:
PAC I-Drive Apartments, LLC
730 Bonnie Brae Street
Winter Park, FL 32789



Vicinity Map
Scale: 1" = 1,000'

Sheet Index		Subm./Rev.					
Sheet Id.	Sheet Title	1	2	3	4	5	6
Civil Plans							
C0.00	Cover Sheet	■					
C0.10	C0.12 Construction Notes	■					
C0.20	Erosion Control And Demolition Plan	■					
C0.21	Erosion Control Notes And Details	■					
C1.00	Master Site Plan & Site Data	■					
C2.00	Site & Geometry Plan	■					
C2.10	Easement Plan	■					
C3.00	C3.01 Paving, Grading & Drainage Plan	■					
C3.10	Grading Sections and Details	■					
C4.00	Utility Plan	■					
C4.10	Utility Crossing & Asset Tables	■					
C5.00	Fire Protection Plan	■					
C7.00	General Construction Details	■					
C7.10	C7.12 Standard Utility Details	■					
Survey Plans							
1	2 Boundary & Topographic Survey	■					
Landscape Architectural							
L0.00	Cover Sheet	■					
L0.01	General Notes/Abbreviations/Symbols	■					
L0.11	Overall Site Plan	■					
L0.12	Overall Fence Plan	■					
L0.13	Site Landscape Drain Locations	■					
L0.14	Overall Key Plan	■					
L0.15	Enlargement Key Plan	■					
L1.00	L1.86 Hardscape Schedule, Notes, Plans, & Details	■					
L2.00	L2.81 Tree Planting Notes, Plans, & Details	■					
L3.00	L3.81 Shrub & Groundcover Notes, Plans, & Details	■					
L4.00	L4.91 Site Furnishing Plans & Details	■					
L5.00	L5.83 Site Lighting Notes, Plans, & Details	■					
L6.00	L6.04 Irrigation Notes, Plans, & Details	■					
Architectural Plans							
Z101	Z102 Exterior Elevations	■					
Photometric Plans							
B02.01	Site Photometric Plan	■					
	Date	Description					
0	01/15/2023	Submit To Orange County					

Civil Engineer:
Poulos & Bennett, LLC
2602 E. Livingston St.
Orlando, FL 32803
407.487.2594

Architect:
Scott + Cormia Architecture and Interior, LLC
429 South Keller Road, Suite 200
Orlando, FL 32810
407.640.2166

Surveyor:
Allen & Company
16 East Plant St.
Winter Garden, FL 34787
407.654.3355

Landscape Architect:
LandDesign
101 S. Orange Ave. Suite 200
Orlando, FL 32801
407.270.7800

Geotechnical Engineer:
Universal Engineering Sciences, LLC
3532 Maggie Boulevard
Orlando, FL 32811
407.423.0504



2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Div. No. 28567
P&B Job No.: 21-188

NOTE:
CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE LATEST MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE FOR STREETS AND HIGHWAYS, FOOT CROWN BOOK, AND THE ORANGE COUNTY REGULATIONS AND SPECIFICATIONS.

Construction Plans for Project Name

13-24-28-6283-00-110 P.A.C. AND DEVELOPER'S - OWNER PREPARED/PLANNED/DESIGNED/ISSUED

ASB LINE GENERAL NOTES:

1. SHOULD CONSTRUCTION PLANS INDICATE ADS PIPE MAY BE USED, ENGINEER SHALL BE NOTIFIED OF SUCH BY CONTRACTOR PRIOR TO MATERIAL ORDERING. ENGINEER SHALL BE PROVIDED WITH SPECIFICATIONS AND INSTALLATION METHODS PRIOR TO INSTALLATION.
2. WHERE ADS PIPE IS USED AS AN ALTERNATE TO REINFORCED CONCRETE PIPE, CONTRACTOR SHALL SUBMIT BIDS TO ENGINEER IN WRITING FOR REVIEW AND APPROVAL OF MATERIAL COST SAVINGS TO OWNER.
3. ADS PIPE SHALL NOT BE USED IN AREAS OF HIGH GROUNDWATER UNLESS PROPER ADS APPROVED METHODS ARE USED TO MITIGATE FOR POTENTIAL FLOODING AND ALIGNMENT SHIFTS. AN AUTHORIZED ADS REPRESENTATIVE SHALL INSPECT ALL SUCH AREAS.
4. PFC SHALL MEET ALL GOVERNING LOCAL AUTHORITY REQUIREMENTS AS WELL AS THE FLORIDA DEPARTMENT OF TRANSPORTATION. CONTRACTOR SHALL PROVIDE WRITTEN PROOF OF ACCEPTANCE BY LOCAL GOVERNMENT FOR PIPE.
5. ADS PIPE PREVIOUSLY STORED IN OUTDOOR CONDITIONS SHALL BE DISCLOSED TO ENGINEER FOR THIRD PARTY REVIEW OF PIPE PRIOR TO ACCEPTANCE FOR USE.
6. ALL INSTALLED PIPE IS SUBJECT TO MANHOLE TESTING PRIOR TO ACCEPTANCE.
7. IN MUNICIPALITIES WHERE ADS PIPE IS NOT ALLOWED IN THE PUBLIC RIGHTS-OF-WAY, THE CONTRACTOR MAY USE ADS PIPE IN PRIVATE, NON-PUBLIC AREAS WITH ENGINEER'S PERMISSION.
8. PIPE 4" TO 48" (WHERE DESIGNATED) SHALL BE ADS HOPE N-12 SMOOTH INTERIOR POLYETHYLENE PIPE. PIPE AND FITTINGS SHALL BE MADE OF VIRGIN PE COMPOUNDS WITH CONFORM WITH THE REQUIREMENTS OF CELL CLASS 324420C AND DEFINED AND DESCRIBED IN ASTM D3350.
9. THE HOPE FITTINGS SHALL NOT REDUCE OR IMPAIR THE OVERALL INTEGRITY OR FUNCTION OF THE PIPE LINE. FITTINGS MAY BE EITHER MOLDED OR FABRICATED. THE FITTINGS MAY BE INSTALLED BY VARIOUS METHODS, SUCH AS SNAP-ON, SCREW-ON, BELL & SPOUT AND WRAP AROUND. COUPLINGS SHALL PROVIDE SUFFICIENT LONGITUDINAL STRENGTH TO PRESERVE PIPE ALIGNMENT AND PREVENT SEPARATION AT THE JOINTS. ONLY FITTINGS SUPPLIED OR RECOMMENDED BY THE PIPE MANUFACTURER SHALL BE USED. WHERE DESIGNATED ON THE PLANS, OR AS DIRECTED BY THE ENGINEER IN THE FIELD, A NEDPHONE OR RUBBER GASKET SHALL BE SUPPLIED.
10. PIPE SHALL BE INSTALLED BY A CONTRACTOR WHO HAS BEEN CERTIFIED BY ADS OR SHALL BE INSTALLED BY A CONTRACTOR AS REPRESENTATIVE TO DO SO.
11. A REPRESENTATIVE OF ADS SHALL INSPECT FROM TIME TO TIME THE INSTALLATION OF THE PIPE.
12. HP MANHOLE STRUCTURES WILL NOT BE ALLOWED FOR USE WITHOUT ENGINEER'S PRE-AUTHORIZATION.
13. GENERAL SPECIFICATIONS:

SCOPE

THIS SPECIFICATION DESCRIBES 12- THROUGH 60-INCH (300 TO 1500 MM) ADS HP STORM PIPE FOR USE IN PRIVATE - FLOW STORM DRAINAGE APPLICATIONS.

PIPE REQUIREMENTS:

- 12- THROUGH 20-INCH (300 TO 750 MM) PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS AND MEET OR EXCEED ASTM F2736 AND AASHTO M330
- 36- THROUGH 60-INCH (900 TO 1500 MM) PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS AND MEET OR EXCEED ASTM F2881 AND AASHTO M330
- MANHOLE'S "N" VALUE FOR USE IN DESIGN SHALL BE 0.012

JOINT PERFORMANCE:

- PIPE SHALL BE JOINED WITH A GASKETED INTEGRAL BELL & SPOUT JOINT MEETING THE REQUIREMENTS OF ASTM F2736 OR F2881, FOR THE RESPECTIVE DIAMETERS.
- 12- THROUGH 60-INCH (300 TO 1500 MM) SHALL BE WATERJOINT ACCORDING TO THE REQUIREMENTS OF ASTM D3312. SPOUTS SHALL HAVE GASKETS MEETING THE REQUIREMENTS OF ASTM F477. GASKET SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE, PROTECTIVE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT AVAILABLE FROM THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY.
- 12- THROUGH 60-INCH (300 TO 1500 MM) DIAMETERS SHALL HAVE A REINFORCED BELL WITH A POLYMER COMPOSITE BAND INSTALLED BY THE MANUFACTURER.

FITTINGS:

- FITTINGS SHALL CONFORM TO ASTM F2736, ASTM F2881 AND AASHTO M330, FOR THE RESPECTIVE DIAMETERS. BELL & SPOUT CONNECTIONS SHALL UTILIZE A SPAN-ON, WELDED OR INTEGRAL BELL AND SPOUT WITH GASKETS MEETING ASTM F477. BELL & SPOUT FITTINGS JOINT SHALL MEET THE WATERJOINT JOINT PERFORMANCE REQUIREMENTS OF ASTM D3312.
- CORRUGATED COUPLINGS SHALL BE SPLIT COLLAR, ENDING AT LEAST 2 FULL CORRUGATIONS.

FIELD PIPE AND JOINT PERFORMANCE:

- TO ASSURE WATER-TIGHTNESS, FIELD PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED BY TESTING IN ACCORDANCE WITH ASTM F1417 OR ASTM F2487. APPROPRIATE SAFETY PRECAUTIONS MUST BE USED WHEN FIELD-TESTING ANY PIPE MATERIAL. CONTACT THE MANUFACTURER FOR RECOMMENDED LUBRICANTS.

MATERIAL PROPERTIES:

- POLYPROPYLENE COMPOUND FOR PIPE AND FITTING PRODUCTION SHALL BE IMPACT MODIFIED COPOLYMER MEETING THE MATERIAL REQUIREMENTS OF ASTM F2736, SECTION 4, ASTM F2881, SECTION 5 AND AASHTO M330, SECTION 6.1, FOR THE RESPECTIVE DIAMETERS.

14. INSTALLATION:

INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND ADS RECOMMENDED INSTALLATION GUIDELINES, WITH THE EXCEPTION THAT MINIMUM COVER IN TRAFFIC AREAS FOR 12- THROUGH 48-INCH (300 TO 1200 MM) DIAMETERS SHALL BE ONE FOOT (0.3 M) AND FOR 60-INCH (1500 MM) DIAMETERS, THE MINIMUM COVER SHALL BE 2 FT. (0.6 M) IN SINGLE-RUN APPLICATIONS. BACKFILL FOR MINIMUM COVER SITUATIONS SHALL CONSIST OF CLASS 1, CLASS 2 (MINIMUM 90% STD) OR CLASS 3 (MINIMUM 90% STD) MATERIAL. MAXIMUM FILL HEIGHTS DEPEND ON EMBEDEDMENT MATERIAL AND COMPACTION LEVEL; PLEASE REFER TO ADS TECHNICAL INFORMATION, CONTRACTOR TO CONTACT ADS FOR A COPY OF THE LATEST INSTALLATION GUIDELINES.

STANDARD / NEW CONDITIONS OF APPROVAL (FOR DRG CONSIDERATION) CASE# 48-24-07-242:

1. DEVELOPMENT SHALL CONFORM TO THE ORANGEWOOD N-2 PLANNED DEVELOPMENT, ORANGE COUNTY BOARD OF COUNTY COMMISSIONERS (BOC) APPROVALS, GRAND PINES PARCEL 110 PRELIMINARY SUBDIVISION PLAN; BOC APPROVALS: PAC I-DRIVE APARTMENTS DEVELOPMENT PLAN DATED 12/26/2014 AND TO THE CONDITIONS OF APPROVAL LISTED BELOW. DEVELOPMENT BASED UPON THIS APPROVAL SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS, ORDINANCES, AND REGULATIONS, WHICH ARE INCORPORATED HEREBY BY REFERENCE, EXCEPT TO THE EXTENT ANY APPLICABLE COUNTY LAWS, ORDINANCES, OR REGULATIONS ARE EXPRESSLY WAIVED OR MODIFIED BY THESE CONDITIONS, OR BY ACTION APPROVED BY THE BOC, OR BY ACTION OF THE BCC.
2. THIS PROJECT SHALL COMPLY WITH, ADHERE TO, AND NOT DEVIATE FROM OR OTHERWISE CONFLICT WITH ANY VERBAL OR WRITTEN PROMISE OR REPRESENTATION MADE BY THE APPLICANT (OR AUTHORIZED AGENT) TO THE BOARD OF COUNTY COMMISSIONERS (BOC) AT THE PUBLIC HEARING WHERE THIS DEVELOPMENT RECEIVED FINAL APPROVAL, WHERE SUCH PROMISE OR REPRESENTATION, WHETHER ORAL OR WRITTEN, WAS RELIED UPON BY THE BOARD IN APPROVING THE DEVELOPMENT, OR OTHERWISE INFLUENCED THE BOARD TO APPROVE THE DEVELOPMENT, IN THE EVENT ANY SUCH PROMISE OR REPRESENTATION IS NOT COMPLIED WITH OR ADHERED TO, OR THE PROJECT DEVIATES FROM OR OTHERWISE CONFLICTS WITH SUCH PROMISE OR REPRESENTATION, THE COUNTY MAY WITHHOLD (OR POSTPONE ISSUANCE OF) DEVELOPMENT PERMITS AND / OR POSTPONE THE RECORDING OF (OR REFUSE TO RECORD) THE PLAT FOR THE PROJECT, FOR PURPOSES OF THIS CONDITION, A PROMISE OR REPRESENTATION SHALL BE DEEMED TO HAVE BEEN MADE TO THE BOARD BY THE APPLICANT (OR AUTHORIZED AGENT) IF IT WAS EXPRESSLY MADE TO THE BOARD AT A PUBLIC HEARING WHERE THE DEVELOPMENT WAS CONSIDERED AND APPROVED.
3. PURSUANT TO SECTION 125.022, FLORIDA STATUTES, ISSUANCE OF THIS DEVELOPMENT PERMIT BY THE COUNTY DOES NOT IN ANY WAY CONSTITUTE WAIVER RIGHTS ON THE PART OF THE APPLICANT TO OBTAIN A PERMIT FROM A STATE OR FEDERAL AGENCY AND DOES NOT CREATE ANY LIABILITY ON THE PART OF THE COUNTY FOR ISSUANCE OF THE PERMIT, OR ANY OTHER DEVELOPMENT ORDER, IF THE APPLICANT FAILS TO OBTAIN REQUIRED APPROVALS OR FULFILL THE OBLIGATIONS IMPOSED BY A STATE OR FEDERAL AGENCIES ACTION THAT RESULT IN A VIOLATION OF STATE OR FEDERAL LAW. PURSUANT TO SECTION 125.022, THE APPLICANT SHALL OBTAIN ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS BEFORE COMMENCEMENT OF DEVELOPMENT.
4. DEVELOPER / APPLICANT HAS A CONTINUING DUTY AND RESPONSIBILITY FROM THE DATE OF APPROVAL OF THE DEVELOPMENT PLAN TO PROMPTLY RESOLVE TO THE COUNTY ANY CHANGES IN OWNERSHIP, ENCUMBRANCES, OR OTHER MATTERS OF RECORD AFFECTING THE PROPERTY THAT IS SUBJECT TO THE PLAN, AND TO RESOLVE ANY ISSUES THAT MAY BE IDENTIFIED BY THE COUNTY AS A RESULT OF ANY SUCH CHANGES. DEVELOPER / APPLICANT ACKNOWLEDGES AND UNDERSTANDS THAT ANY SUCH CHANGES ARE SOLELY THE DEVELOPER'S / APPLICANT'S OBLIGATION AND RESPONSIBILITY TO DISCLOSE AND RESOLVE, AND THAT THE DEVELOPER'S / APPLICANT'S FAILURE TO DISCLOSE AND RESOLVE ANY SUCH CHANGES TO THE SATISFACTION OF THE COUNTY MAY RESULT IN THE COUNTY NOT ISSUING (OR DELAYING ISSUANCE OF) DEVELOPMENT PERMITS, NOT RECORDING (OR DELAYING RECORDING OF) A PLAT FOR THE PROPERTY, OR BOTH.
5. PROPERTY THAT IS REQUIRED TO BE DEDICATED OR OTHERWISE CONVEYED TO ORANGE COUNTY (BY PLAT OR OTHER MEANS) SHALL BE FREE AND CLEAR OF ALL ENCUMBRANCES, EXCEPT AS MAY BE ACCEPTABLE TO COUNTY AND CONSISTENT WITH THE ANTICIPATED USE. OWNER / DEVELOPER SHALL PROVIDE, AT NO COST TO COUNTY, ANY AND ALL EASEMENTS REQUIRED FOR APPROVAL OF A PROJECT OR NECESSARY FOR REDUCTION OF EXISTING EASEMENTS, INCLUDING ANY EXISTING FACILITIES, AND SHALL BE RESPONSIBLE FOR THE FULL COSTS OF ANY SUCH REDUCTION PRIOR TO ORANGE COUNTY'S ACCEPTANCE OF THE CONVEYANCE. ANY ENCUMBRANCES THAT ARE DISCOVERED AFTER APPROVAL OF A PLAT UNDER THIS PLAN SHALL BE THE RESPONSIBILITY OF OWNER / DEVELOPER TO RELEASE AND RELOCATE, AT NO COST TO COUNTY, PRIOR TO COUNTY'S ACCEPTANCE OF CONVEYANCE, AS PART OF THE REVIEW PROCESS FOR CONSTRUCTION PLAN APPROVAL(S). ANY REQUIRED OFF-SITE EASEMENTS IDENTIFIED BY COUNTY MUST BE CONVEYED TO COUNTY PRIOR TO ANY SUCH APPROVAL, OR AT A LATER DATE AS DETERMINED BY COUNTY. ANY FAILURE TO COMPLY WITH THIS CONDITION MAY RESULT IN THE WITHDRAWAL OF DEVELOPMENT PERMITS AND PLAT APPROVAL(S).
6. DEVELOPMENT PLAN (DP) APPROVAL (BY THE DRG OR BOC, AS APPLICABLE), SHALL AUTOMATICALLY EXPIRE IF CONSTRUCTION PLANS HAVE NOT BEEN SUBMITTED AND APPROVED WITHIN TWO (2) YEARS FROM DP APPROVAL; IF CONSTRUCTION PLANS ARE NOT REQUIRED, SUCH DP SHALL EXPIRE TWO (2) YEARS FROM APPROVAL UNLESS A BUILDING PERMIT HAS BEEN OBTAINED WITHIN SUCH TWO-YEAR PERIOD. THE FOREGOING NOTWITHSTANDING, THE DRG MAY, UPON GOOD CAUSE SHOWN, GRANT ONE (1) YEAR EXTENSION TO THE EXPIRATION DATE OF A DP IF THE DEVELOPER MAKES WRITTEN REQUEST TO THE DRG CHAIR PRIOR TO THE EXPIRATION DATE.
7. THE STORMWATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO RETAIN THE 100-YEAR/24-HOUR STORM EVENT DRAINAGE, UNLESS DOCUMENTATION WITH SUPPORTING CALCULATIONS IS SUBMITTED WHICH DEMONSTRATES THAT A POSITIVE OUTFALL IS AVAILABLE. IF THE APPLICANT CAN SHOW THE EXISTENCE OF A POSITIVE OUTFALL FOR THE SUBJECT BASIN, THEN IN LIEU OF DESIGNING FOR THE 100-YEAR/24-HOUR STORM EVENT, THE DEVELOPER SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL STORMWATER REQUIREMENTS AND REGULATIONS. AN EMERGENCY HIGH WATER RELIEF OUTFALL SHALL BE PROVIDED TO ASSURE OVERFLOW DOES NOT CAUSE FLOODING OF SURROUNDING AREAS.
8. PRIOR TO CONSTRUCTION PLAN APPROVAL, DOCUMENTATION WITH SUPPORTING CALCULATIONS SHALL BE SUBMITTED WHICH CERTIFIES THAT THE EXISTING DRAINAGE SYSTEM AND PONDS HAVE THE CAPACITY TO ACCOMMODATE THIS DEVELOPMENT AND THAT THIS PROJECT IS CONSISTENT WITH THE APPROVED MASTER DRAINAGE PLAN (MDP) FOR THIS PD.
9. PRIOR TO CONSTRUCTION PLAN APPROVAL, DOCUMENTATION MUST BE PROVIDED CERTIFYING THAT THIS PROJECT HAS THE LEGAL RIGHT TO TIE INTO THE MASTER DRAINAGE SYSTEM.
10. UNLESS OTHERWISE ALLOWED BY COUNTY CODE, THE PROPERTY SHALL BE PLATTED/REPLATTED PRIOR TO THE ISSUANCE OF ANY VERTICAL BUILDING PERMITS.
11. A MANDATORY PRE-APPLICATION/SUFFICIENCY REVIEW MEETING FOR THE PLAT/REPLAT SHALL BE REQUIRED PRIOR TO PLAT SUBMITTAL AND CONCURRENT WITH CONSTRUCTION PLAN SUBMITTAL. APPLICANT SHALL RESOLVE, TO THE COUNTY'S SATISFACTION, ALL ITEMS IDENTIFIED IN THE PRE-APPLICATION/ SUFFICIENCY REVIEW MEETING PRIOR TO FORMAL SUBMITTAL OF THE PLAT TO THE COUNTY.
12. AUTHORIZATION FROM ORANGE PINES COMMUNITY DEVELOPMENT DISTRICT ALLOWING CONNECTION TO PARADES GRANDE BOULEVARD AND DRAINAGE SYSTEM IS REQUIRED PRIOR TO SITE PLAN CONSTRUCTION APPROVAL.
13. PRIOR TO COMMENCEMENT OF ANY EARTH WORK OR CONSTRUCTION, IF ONE ACRE OR MORE OF LAND WILL BE RESTORED, THE DEVELOPER SHALL PROVIDE A COPY OF THE COMPLETED NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) NOTICE OF INTENT (NOI) FORM FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES TO THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION, NPDES ADMINISTRATOR. THE ORIGINAL NOI FORM SHALL BE SENT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION BY THE DEVELOPER.
14. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF COMPLETION, ALL STORM DRAIN INLETS SHALL HAVE METAL MESH/SCREEN INLET MARKERS INSTALLED. TEXT ON THE MARKER SHALL READ "NO DUMPING, ONLY RAIN IN THE DRAIN." SPECIFICATION DETAIL WILL BE PROVIDED WITH ALL PLAN SETS. CONTACT THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) SUPERVISOR AT THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION FOR DETAILS.
15. UNLESS THE PROPERTY IS OTHERWISE VESTED OR EXEMPT, THE APPLICANT MUST APPLY FOR AND OBTAIN A CAPACITY ENCUMBRANCE LETTER PRIOR TO CONSTRUCTION PLAN SUBMITTAL AND MUST APPLY FOR AND OBTAIN A CAPACITY RESERVATION CERTIFICATE PRIOR TO APPROVAL OF THE PLAT. NOTHING IN THIS CONDITION AND NOTHING IN THE DECISION TO APPROVE THIS DEVELOPMENT PLAN SHALL BE CONSTRUED AS A GUARANTEE THAT THE APPLICANT WILL BE ABLE TO SATISFY THE REQUIREMENTS FOR OBTAINING A CAPACITY ENCUMBRANCE LETTER OR A CAPACITY RESERVATION CERTIFICATE.
16. PRIOR TO CONSTRUCTION PLAN APPROVAL, HYDRAULIC CALCULATIONS SHALL BE SUBMITTED TO

ORANGE COUNTY UTILITIES DEMONSTRATING THAT PROPOSED AND EXISTING WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS HAVE BEEN DESIGNED TO SUPPORT ALL DEVELOPMENT WITHIN THE DP, AND THAT CONSTRUCTION PLANS ARE CONSISTENT WITH AN APPROVED AND UP-TO-DATE MASTER UTILITY PLAN FOR THE PD.

17. THIS PROJECT SHALL COMPLY WITH THE COUNTY'S INTERNATIONAL DRIVE ACTIVITY CENTER COMPREHENSIVE PLAN REQUIREMENT FOR A 15-FOOT TRAVEL EASEMENT AND A SEPARATE 20-FOOT LANDSCAPE, PEDESTRIAN, AND UTILITY EASEMENT. THE REQUIRED EASEMENTS SHALL BE DEDICATED VIA THE REQUIRED RE-PLAT.

Key Map

Consent:

1	APPROVED	FOR	ORANGE COUNTY
NO. DATE	DESCRIPTION	SUBMISSION/REVISIONS	
VERTICAL DRAINAGE	NWD 05		
JOB NO.	2418		
DESIGNED BY	JO		
DRAWN BY	JA/PL		
CHECKED BY	RO		
APPROVED BY	JT		
SCALE IN FEET	N/A		

Project Name:
PAC I - DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
CONSTRUCTION NOTES

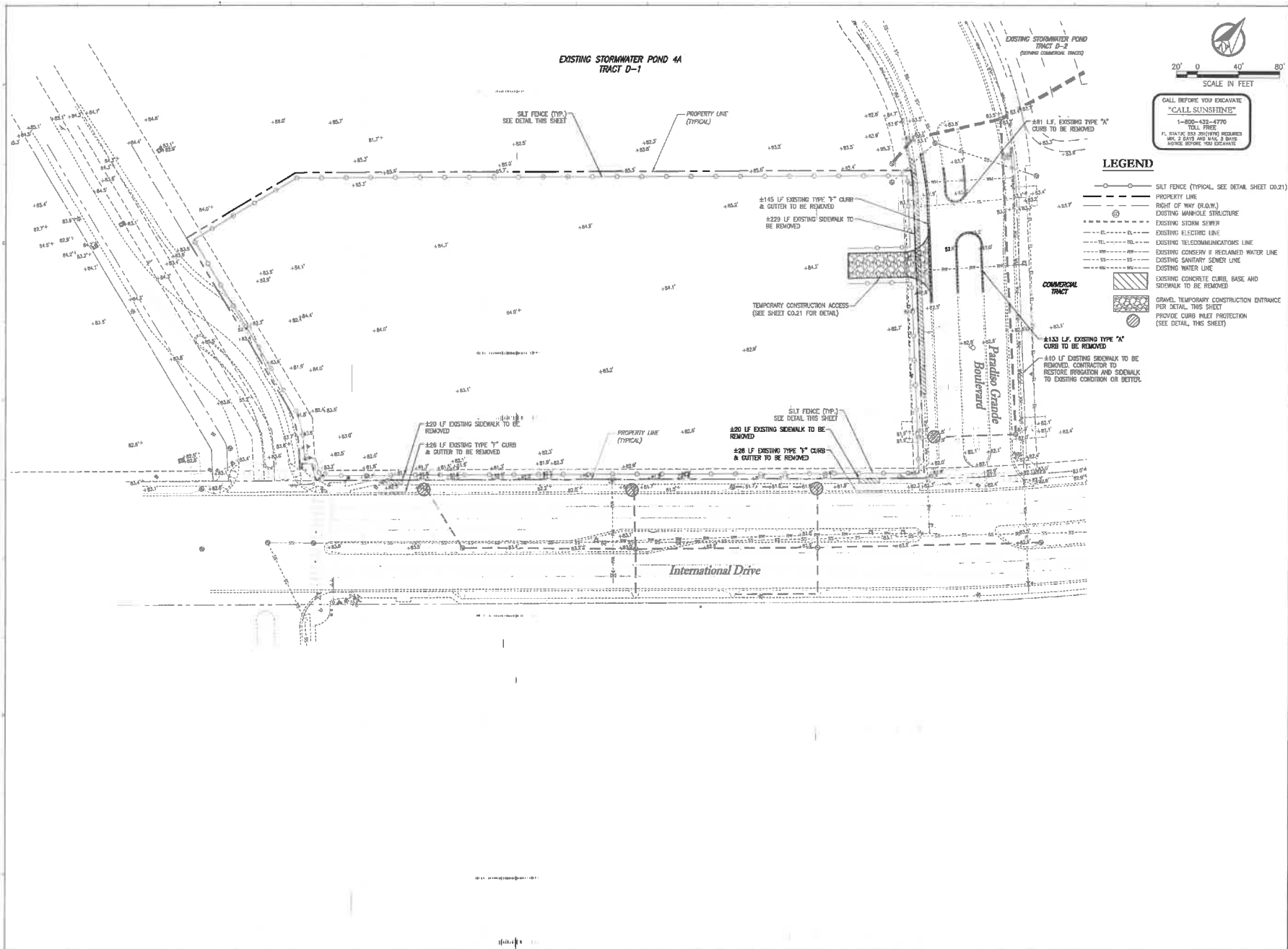
Sheet No.:
C0.12



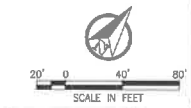
This sheet is to be incorporated as part of the project files. It shall not be distributed to the public. If you are not the owner, please do not disseminate this information. If you are the owner, please do not disseminate this information to the public.



Poulos & Bennett, LLC
 2622 E. Longfellow St., Orlando, FL 32803
 Tel: 407.497.2274 www.poulosandbennett.com
 (Reg. & Pa. No. 3600)



Key Map:



CALL BEFORE YOU EXCAVATE
 "CALL SENSITIVITIES"
 1-800-485-4776
 TOLL FREE
 FL SERVICE 24 HOURS INCLUDING HOLIDAYS
 8 AM - 5 PM AND 9 AM - 3 PM
 MON-FRI, BEFORE 10:00 EXCAVATE

LEGEND

- SILT FENCE (TYPICAL, SEE DETAIL SHEET CO.21)
- PROPERTY LINE
- RIGHT OF WAY (R.O.W.)
- EXISTING MANHOLE STRUCTURE
- EXISTING STORM SEWER
- EXISTING ELECTRIC LINE
- EXISTING TELECOMMUNICATIONS LINE
- EXISTING CONSERVATION RECLAIMED WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- ▨ EXISTING CONCRETE CURB, BASE AND SIDEWALK TO BE REMOVED
- ▨ GRAVEL TEMPORARY CONSTRUCTION ENTRANCE FOR DETAIL THIS SHEET
- PROVIDE CURB INLET PROTECTION (SEE DETAIL THIS SHEET)

COMMERCIAL TRACT

Contractor:

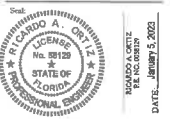
1. REVISED	ISSUED TO OWNER/CONTRACTOR
NO. DATA	DESCRIPTION
	SUBMISSIONS/REVISIONS
VERTICAL CURVE	NAVD 88
JOB NO.	21-188
DESIGNED BY	RO
DRAWN BY	JA/JL
CHECKED BY	RO
APPROVED BY	JF
SCALE IN FEET	1" = 40'

Project Name:
PAC I - DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submitted To:
 ORANGE COUNTY, FL

Sheet Title:
EROSION CONTROL & DEMOLITION PLAN

Sheet No.:
C0.20



This sheet has been electronically signed and sealed by Eric S. Coum on the date adjacent to the seal using CAD automation tools. Project copies of this document are not intended to be signed and sealed by the PE. All communications should be made to the drafter's agent.



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 Eng. No. 10, 29227

EROSION CONTROL NOTES:

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SILING OR DISCHURGE TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING SURFACE WATERS. SUCH MEASURES SHALL BE APPROVED BY THE PROJECT ENGINEER AND MAY INCLUDE, BUT NOT LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES, SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS.
2. IF DURING CONSTRUCTION, THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORILY, ALTERNATIVES AND ADDITIONAL METHODS OF PROTECTION SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH S.F.W.A.D. AND ORANGE COUNTY EROSION CONTROL STANDARDS. CONTRACTOR IS EXCLUSIVELY RESPONSIBLE FOR ALL EROSION CONTROL COSTS INCLUDING ANY COSTS ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
3. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A DETAILED EROSION CONTROL PLAN TO ORANGE COUNTY FOR REVIEW AND APPROVAL. A MINIMUM OF TWO WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. AT A MINIMUM, THE EROSION CONTROL PLAN SHALL PROVIDE: SILT SCREENS AND TURBIDITY BARRIERS, IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
4. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 7 DAYS OF FINAL GRADING. ALL TEMPORARY EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE COMPLETED AND ESTABLISHED.
5. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH NPDES REQUIREMENTS.
6. CONTRACTOR SHALL RETAIN COPIES OF DATA USED TO COMPLETE THE NOTICE OF INTENT TO CONSTRUCT (NOI), THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND ALL REPORTS REQUIRED BY THE NPDES GENERAL PERMIT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED. SUCH REPORTS SHALL IDENTIFY ANY VIOLATIONS OF NON-COMPLIANCE.
7. CONTRACTOR AND SUBCONTRACTOR(S) IDENTIFIED IN THE SWPPP SHALL SIGN THE CERTIFICATION STATEMENT CONTAINED IN PART V.C.2 OF THE GENERAL PERMIT BEFORE CONDUCTING ANY WORK IDENTIFIED IN THE SWPPP.
8. CONTRACTOR SHALL MAINTAIN A COPY OF THE SWPPP AT THE SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.
9. CONTRACTOR SHALL ADVISE THE SWPPP WHEN THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION OR MAINTENANCE THAT MAY HAVE A SIGNIFICANT EFFECT ON THE POTENTIAL FOR OFF-SITE DISCHARGE OF POLLUTANTS, INCLUDING THE ADDITION OF OR CHANGE IN LOCATION OF DISCHARGE POINTS AND RESOLUTION TO CONTROLERS WHICH MAY HAVE PROVIDED TO BE INDEFINITE.
10. AMENDMENTS TO THE SWPPP SHALL INCLUDE IDENTIFYING ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A POLLUTION PREVENTION MEASURE.
11. AMENDMENTS TO THE SWPPP SHALL BE PREPARED, DATED AND KEPT AS ATTACHMENTS TO THE ORIGINAL PLAN.
12. THE SWPPP SHALL BE AMENDED TO REFLECT ANY CHANGE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES IN SITE PERMITS APPROVED BY STATE, FEDERAL OR LOCAL OFFICES FOR WHICH CONTRACTOR RECEIVES WRITTEN NOTICE AND CONTRACTOR SHALL RE-CERTIFY SUCH CHANGES RELATED TO SUCH WRITTEN NOTICE.
13. CONTRACTOR SHALL REMAIN RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POLLUTION PREVENTION MEASURES UNTIL CONSTRUCTION HAS BEEN COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT PLANS AND CERTIFIED AS SUCH BY POLLOS & BENNETT, WHETHER OR NOT CONTRACTOR HAS SUBMITTED A NOTICE OF TERMINATION (NOT) TO FDEP.
14. THE SCHEDULING, SEQUENCING AND CONTROL MEASURES, WHICH ARE OUTLINED HEREIN, ARE SUBJECT TO FINAL DEFINITION BY THE CONTRACTOR WHO WILL BE RESPONSIBLE FOR IMPLEMENTATION AND COMPLIANCE.
15. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A CONSTRUCTION SCHEDULE DETERMINING EACH PHASE OF THE WORK. THE CONTRACTOR SHALL ALSO BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN TO THE OWNER, THE ENGINEER AND THE CITY OF ORLANDO ENCOMPASSING THE CONTRACTOR'S EXACT PLAN OF IMPLEMENTING THE PRINCIPLES AND THE REQUIREMENTS DESCRIBED HEREIN. NO CONSTRUCTION CAN BEGIN UNTIL SAID PLAN HAS BEEN APPROVED BY THE CITY OF ORLANDO.
16. THROUGHOUT THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL DAILY INSPECT PROTECTIVE INSTALLATIONS FOR FAILURES OR SIGNS OF FAILURE OR MALFUNCTION AND EFFECT REPAIRS OR REPLACEMENT IMMEDIATELY UPON DISCOVERY.
17. THE RECOMMENDED GENERAL SEQUENCE OF CONSTRUCTION FOR ALL BASINS IS AS FOLLOWS:
 - 17.1. PLACEMENT OF PERIMETER PROTECTIVE MEASURES (SILT FENCE, SYNTHETIC MAT BALES, ETC.) AROUND ONSITE LAKES, AT POINTS OF OFFSITE DISCHARGE, AND AROUND WORK AREAS.
 - 17.2. REMOVE RUNOFF FROM AREAS OUTSIDE OF THE DEVELOPMENT AREA TO MINIMIZE FLOW THROUGH AREAS TO BE DISTRIBUTED BY CONSTRUCTION, SEDIMENT SCREENS AND OTHER MEANS USED FOR SUCH CONFORMANCE SHALL BE VEGETATED AND MEASURES TAKEN TO PROMOTE PROTECTION UNTIL STABILIZATION HAS BEEN ESTABLISHED.
 - 17.3. SELECT LOCATIONS FOR PLACEMENT OF MATERIAL, WHETHER SUITABLE FOR FILL OR UNSUITABLE, AND CONSTRUCT CONTAINMENT BERM AROUND THE AREA. THE USE OF STRIPPIES FOR THIS PURPOSE MAY ACCELERATE BERM VEGETATION. CONSTRUCT TEMPORARY OUTLETS FROM CONTAINMENT AREAS WITH SCREENS, HAY BALES, SETTLING BASINS OR OTHER MEASURES TO PREVENT SILT TRANSPORTATION.
 - 17.4. SELECT DESIGNATED ACCESS ROUTING FOR CONSTRUCTION EQUIPMENT AND VEHICLES AND PROVIDE PERIMETER PROTECTIVE MEASURES WHERE EXISTING TERRAIN WILL BE SUBJECT TO DISRUPTION BY SUCH TRAFFIC.
 - 17.5. IF REQUIRED, CONSTRUCT ABOVE GROUND OR OTHER CONTAINMENT AREAS FOR CONSTRUCTION AREA RUNOFF. PROVIDE SCREENS, SYNTHETIC MAT BALES (E.C.), TO FILTER DISCHARGE THESE AREAS.
 - 17.6. GRASSING, SOODING, ETC. SHALL BE IN PLACE IMMEDIATELY UPON COMPLETION OF WORK IN DISTURBED AREAS WITHIN PROJECT AREA.
 - 17.7. IN ANY EVENT, CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING ANY AND ALL MEASURES ARE TAKEN TO COMPLY WITH LOCAL, STATE, FEDERAL, AND OTHER REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL, DURING CONSTRUCTION.
18. DWA 500 OR OTHER STABILIZATION IS REQUIRED AROUND ALL STORM INLETS IN UNPAVED AREAS.
19. THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES). CONTRACTOR IS ADVISED THAT OPERATORS ARE REQUIRED TO FILE WITH F.D.E.P., A NOTICE OF INTENT TO USE THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT OBTAINS ONE OR MORE ACRES OF LAND, IF IS THE CONTRACTORS SOLE RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (NOI) TO F.D.E.P. WITH A COPY TO THE OWNER, THE ENGINEER AND THE CITY AT LEAST 48 HOURS BEFORE INITIATING CONSTRUCTION.
20. AS REQUIRED BY THE GENERAL PERMIT, CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PURSUANT TO ALL REQUIREMENTS OF THE GENERAL PERMIT.
21. PURSUANT TO THE NPDES, CONTRACTOR SHALL MAINTAIN RECORDS OF DATES WHEN MAJOR GRADING ACTIVITIES BEGINS AND WHEN SUCH TEMPORARY OR PERMANENT CESSATION OF CONSTRUCTION ACTIVITY. STABILIZATION REQUIREMENTS (SOODING WHERE SHOWN ON THE PLANS, SEEDING AND MOUNDING ELSEWHERE) APPLY TO ALL AREAS DISTURBED BY CONSTRUCTION, ON-SITE AND OFF-SITE. DISTURBED AREAS NOT YET FINALLY STABILIZED, STORAGE AREAS EXPOSED TO RAINFALL, STRUCTURAL CONTROLS VEHICULAR ACCESS LOCATIONS, AND PROVIDE INSPECTION TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. INSPECTIONS SHALL CONDUCTED DAILY AND WITHIN 24 HOURS AFTER EACH 6 INCH OR GREATER RAINFALL EVENT AND ANY NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY.
22. SOD STRIPS ARE NOT A SUBSTITUTE FOR TEMPORARY STABILIZATION. IF SOD STRIPS ARE USED FOR TEMPORARY STABILIZATION ALONG A CURBSIDE, IT MUST BE IN CONJUNCTION WITH ANOTHER FORM OF TEMPORARY STABILIZATION ON THE HOT PAVED, SUCH AS HYDROSEED OR SEED/MULCH. IF USING SOD STRIPS DURING THE ESTABLISHMENT OF STABILIZATION AS A CURBSIDE BAP THEN THEY MUST BE A MIN OF 4'. SOD STRIPS ARE NOT SUFFICIENT FOR USE AS CURBSIDE BAP DURING VERTICAL CONSTRUCTION.

DUST CONTROL PROVISIONS:

1. CONTRACTOR SHALL PRE-WATER THE SITE AND ALL WORK WILL BE PHASED TO REDUCE THE AMOUNT OF DISTURBED SURFACE AREA AT ANY ONE TIME ACTIVE OPERATIONS.
 - 1.1. WATER TO BE APPLIED TO DRY AREAS DURING LEVELING, GRADING, TRENCHING, AND EXHAUSTION ACTIVITIES.
 - 1.2. WATER TO BE APPLIED ON DISTURBED SURFACE AREAS TO FORM A VISIBLE CRUST.
 - 1.3. VEHICULAR ACCESS TO BE RESTRICTED AND WATER OR DUST SUPPRESSANTS TO BE APPLIED AND MAINTAINED AT ALL UN-VEGETATED AREAS.
2. CONTRACTOR SHALL PREVENT DUST FROM HIGHWAYS.
 - 2.1. WATER TO BE APPLIED TO VEHICULAR TRAFFIC AND EQUIPMENT STORAGE AREAS.
 - 2.2. WATER APPLICATION EQUIPMENT WILL APPLY WATER TO CURBSIDE, FUGITIVE DUST DURING WIND EVENTS, UNLESS UNSAFE TO DO SO.
 - 2.3. OUTDOOR CONSTRUCTION ACTIVITIES THAT DISTURB THE SOIL TO BE CEASED WHENEVER VISIBLE DUST DISBURSERS CANNOT BE EFFECTIVELY CONTROLLED.
3. CONTRACTOR SHALL HANDLE BULK MATERIAL.
 - 3.1. WATER TO BE APPLIED WHEN HANDLING BULK MATERIALS.
 - 3.2. WATER TO BE APPLIED TO STORAGE PILES.
 - 3.3. VEHICLE SPEED TO BE LIMITED ON THE WORK SITE.
 - 3.4. ALL HAUL TRUCKS TO BE LOADED SUCH THAT THE FREEBOARD IS NOT LESS THAN SIX INCHES WHEN TRANSPORT USING A CRIB OR CONVEYOR.
4. CONTRACTOR SHALL DO DAILY CLEANUPS.
 - 4.1. MANUAL CLEANUP FREQUENCY TO BE DONE AT THE END OF THE WORK DAY AND REMOVED IMMEDIATELY IF DRIVEWAY AND TRACK OUT EXTENDS BEYOND 50 FEET.
 - 4.2. CLEAN UP METHODS:
 - 4.2.1. MANUALLY SHEEPING AND PICKING UP.
 - 4.2.2. MECHANICAL SHEEPING WITH A ROTARY BRUSH OR BROOM ACCOMPANIED BY WATER SPRAYER ON BROOM.

SWPPP NOTES:

1. CONSTRUCTION ACTIVITY PERTAINS TO CONSTRUCTION OF MULTI-FAMILY APARTMENTS AND ASSOCIATED UTILITIES, GENERATOR/PANORAS, AND STORMWATER TREATMENT PONDS.
2. EXISTING ON-SITE SOILS: REFER TO SURVEY TABLE.
3. ALL PROPOSED INLETS/OUTLETS, ONCE INSTALLED, SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF USING PROPERLY INSTALLED FILTER FABRICS. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY GRADED SHALL BE STABILIZED WITH SOD. SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE SITE. A DOUBLE ROW OF SILT FENCE, REINFORCED WITH FIELD FENCING, SHALL BE PLACED AROUND VEGETATIVE BUFFERS AND WETLAND AREAS. ALL AREAS DISTURBED MORE THAN 7 DAYS SHALL BE STABILIZED WITH GRASS OR OTHER APPROPRIATE VEGETATION APPLIED AT MANUFACTURER'S RECOMMENDATION.
4. THE TEMPORARY AND PERMANENT STABILIZATION PRACTICES INCLUDE SOODING ALL DISTURBED AREAS FOR STABILIZATION.
5. SILT FENCE AND INLET/OUTLET PROTECTION SHALL BE INSTALLED PER BEST MANAGEMENT PRACTICES. SEE SECTION 8.
6. CONTROL DETAILS OF POTENTIAL POLLUTANTS AS FOLLOWS:
 - 6.1. WASTE DISPOSAL - ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE PLACED IN DUMPSTER AND HAULED OFF SITE TO A LANDFILL OR OTHER DISPOSAL SITE. NO MATERIALS SHALL BE BURIED ON SITE.
 - 6.2. PROPER APPLICATION RATES OF ALL FERTILIZERS, HERBICIDES AND PESTICIDES AT CONSTRUCTION SITE - FLORIDA FERTILIZER AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE WITH MANUFACTURER'S SUGGESTED APPLICATION RATES. THE FERTILIZERS AND PESTICIDES WILL BE STORED IN A COVERED SHED. USE OF FERTILIZERS MUST ADHERE TO THE COUNTY'S FERTILIZER ORDINANCE. USE MUST BE IN COMPLIANCE WITH LOCAL ORDINANCES, SOME OF WHICH ARE MORE STRINGENT THAN ORANGE COUNTY'S. FOR INFORMATIONAL PURPOSES, SOME GENERAL FACTS ON THE COUNTY'S ORDINANCE INCLUDE:
 - NO MORE THAN 1 LB. OF FERTILIZER CONTAINING 50% SLOW RELEASE N SHALL BE APPLIED PER 1,000 SQ. FT.
 - NO P CAN BE APPLIED WITHOUT A VALID SOIL TEST FROM IPAS. IF THEY PLAN TO APPLY P, PLEASE PROVIDE COPY OF SOIL TEST INDICATING P DEFICIENCY.
 - NO FERTILIZER CAN BE APPLIED WITHIN 15 FT. OF WATER BODIES.
 - FERTILIZER RELEASED ON TO IMPERVIOUS SURFACES MUST BE IMMEDIATELY CLEANED UP OR APPLIED PER CODE.
 - JUNE 1 - SEPTEMBER 30 IS THE SUMMER APPLICATION RESTRICTED PERIOD. APPLICATIONS MUST SHOW PROOF OF TRAINING TO APPLY NITROGEN AND PHOSPHORUS FERTILIZER DURING THIS PERIOD.
 - 6.3. STORAGE, APPLICATION, GENERATION AND MIGRATION OF ALL TOXIC SUBSTANCES - ALL PAINTS AND OTHER CHEMICALS WILL BE STORED IN A LOCKED COVERED SHED.
 - 6.4. OTHER - PORT-O-LETS WILL BE PLACED AWAY FROM STORM SEWER SYSTEMS, STORM INLETS, SURFACE WATER AND WETLANDS. NO VEHICLE MAINTENANCE SHALL BE CONDUCTED ON-SITE. A WASHDOWN AREA SHALL BE DESIGNATED AT ALL TILES AND WILL NOT BE LOCATED IN ANY AREA ALLOWING FOR DISCHARGE OF POLLUTED RUNOFF. A SMALL VEGETATED BERM SHALL BE PLACED AROUND THE WASHDOWN AREA.
7. MAINTENANCE FOR ALL STRUCTURAL AND NON-STRUCTURAL CONTROLS SHALL BE AS FOLLOWS:
 - 7.1. SILT FENCE SHALL BE INSPECTED AT LEAST WEEKLY. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - 7.2. MAINTENANCE SHALL BE PERFORMED ON THE ROCK ENTRANCE WHEN ANY VOID SPACES ARE FULL OF SEDIMENTS.
 - 7.3. INLETS/OUTLETS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN EVENT AND ANY REQUIRED REPAIRS TO THE FILTER FABRIC ON INLETS AND SILT FENCE SHALL BE PERFORMED IMMEDIATELY.
 - 7.4. BARE AREAS OF THE SITE THAT WERE PREVIOUSLY SEEDING SHALL BE RE-SEEDING PER MANUFACTURER'S INSTRUCTIONS.
 - 7.5. MULCH AND SOD THAT HAS BEEN WASHED OFF SHALL BE REPLACED IMMEDIATELY.
 - 7.6. MAINTAIN ALL OTHER AREAS OF THE SITE WITH PROPER CONTROLS AS NECESSARY.
 - 7.7. ONSITE PERIMETER WILL INSPECT ALL POINTS OF DISCHARGE, ALL DISTURBED AREAS OF CONSTRUCTION NOT STABILIZED, CONSTRUCTION AREAS, BARRIERS/CROSS AND ALL BARRIERS DAILY AND WITHIN 24 HOURS OF A RAINFALL EVENT THAT IS OBLIGATED OR GREATER. WHERE SITES HAVE BEEN FINALLY STABILIZED, SAID INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE A MONTH UNTIL NOTICE OF TERMINATION IS FILED.
 - 7.8. NON-STORMWATER DISCHARGES MAY OCCUR FROM CONSTRUCTION ACTIVITIES SUCH AS WASHLINE FILLING, PRECIPITATION WASH WATER (WHERE NO SPILLS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED) AND UNCONTAMINATED GROUNDWATER (DEWATERING EXCAVATION). DEWATERING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEP GENERAL PERMIT FOR THE DISCHARGE OF PRODUCTION GRADING WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY. IF SAID DISCHARGES DO OCCUR, THEY WILL BE DISCHARGED TO TEMPORARY SEDIMENT TRAP OR TO RECEIVING WATER TREATMENT CAN INCLUDE SILT FENCES, SETTLING PONDS, PROPER USE OF FLOCCULATING AGENTS OR OTHER APPROPRIATE MEANS.
 - 7.9. DRY RETENTION POND TO BE PROTECTED FROM SILT DURING CONSTRUCTION ACTIVITIES. IF IT IS DETERMINED THAT THE POND BOTTOM HAS BECOME SILTED THEN 8 INCHES OF POND BOTTOM SHALL BE REMOVED & REPLACED WITH CLEAN BACKFILL.

SEDIMENT NOTES:

1. LOCATION OF EXISTING UTILITIES TO STRUCTURE ARE UNKNOWN. CONTRACTOR TO FIELD VERIFY PRIOR TO DEMOLITION.

NPDES Information

Address: International Drive

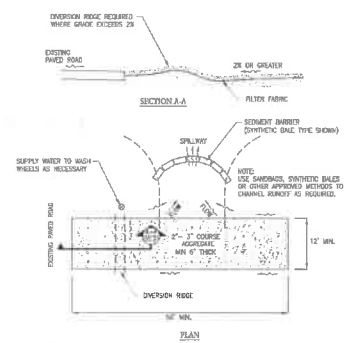
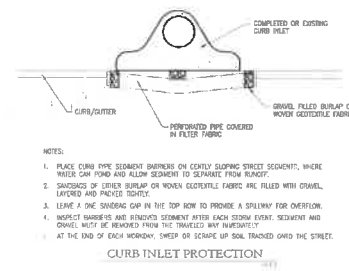
Latitude: 28°23'58.72"N
Longitude: 81°27'28.33"W

Jurisdictional Authority: South Florida Water Management District

Total Area (Per Survey): 4.46 ac
Project (Delimited) Area: 24.46 ac
NS4 Operator: Orange County
Receiving Water Name: Canal C-1

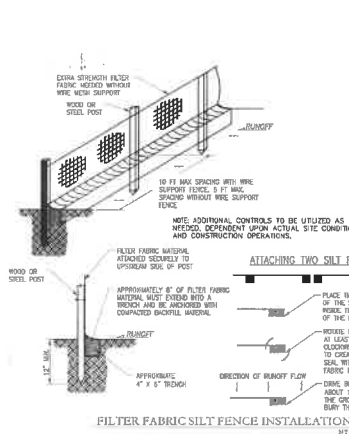
Soils (USDA NCRS "Web Soil Survey"):
No. 3 Basinger Fine Sand, Depressed
No. 44 Symon Fine Sand

NOTE: FOR PROJECTS WITH DISTURBED AREAS LESS THAN 1 ACRE NPDES PERMITTING IS NOT REQUIRED.



1. CONSTRUCTION ENTRANCE SHALL BE MAINTAINED AND UTILIZED DURING CONSTRUCTION.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF FLOWS OF SEDIMENT ONTO PUBLIC HIGHWAYS OR PAVES. THIS MAY REQUIRE TOP DRESSING, BERM AND/OR CLEANUP OF ANY MATERIALS USE TO TRAP SEDIMENT.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC HIGHWAYS.
4. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH GRASS OR SOD THAT DRAIN INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
5. TEMPORARY ACCESS TO BE CONSTRUCTED TO SUPPORT THE LOAD OF A VEHICLE APPROX.

TEMPORARY GRAVEL CONSTRUCTION ACCESS



FILTER FABRIC SILT FENCE INSTALLATION

Key Map:

Coordinate:

1. DATE	2. DATE	3. DATE	4. DATE
APPROVED BY:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
SCALE:	DATE:	DATE:	DATE:

PAGE NAME:
N-1 - DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
EROSION CONTROL NOTES AND DETAILS

Sheet No.:
C0.21

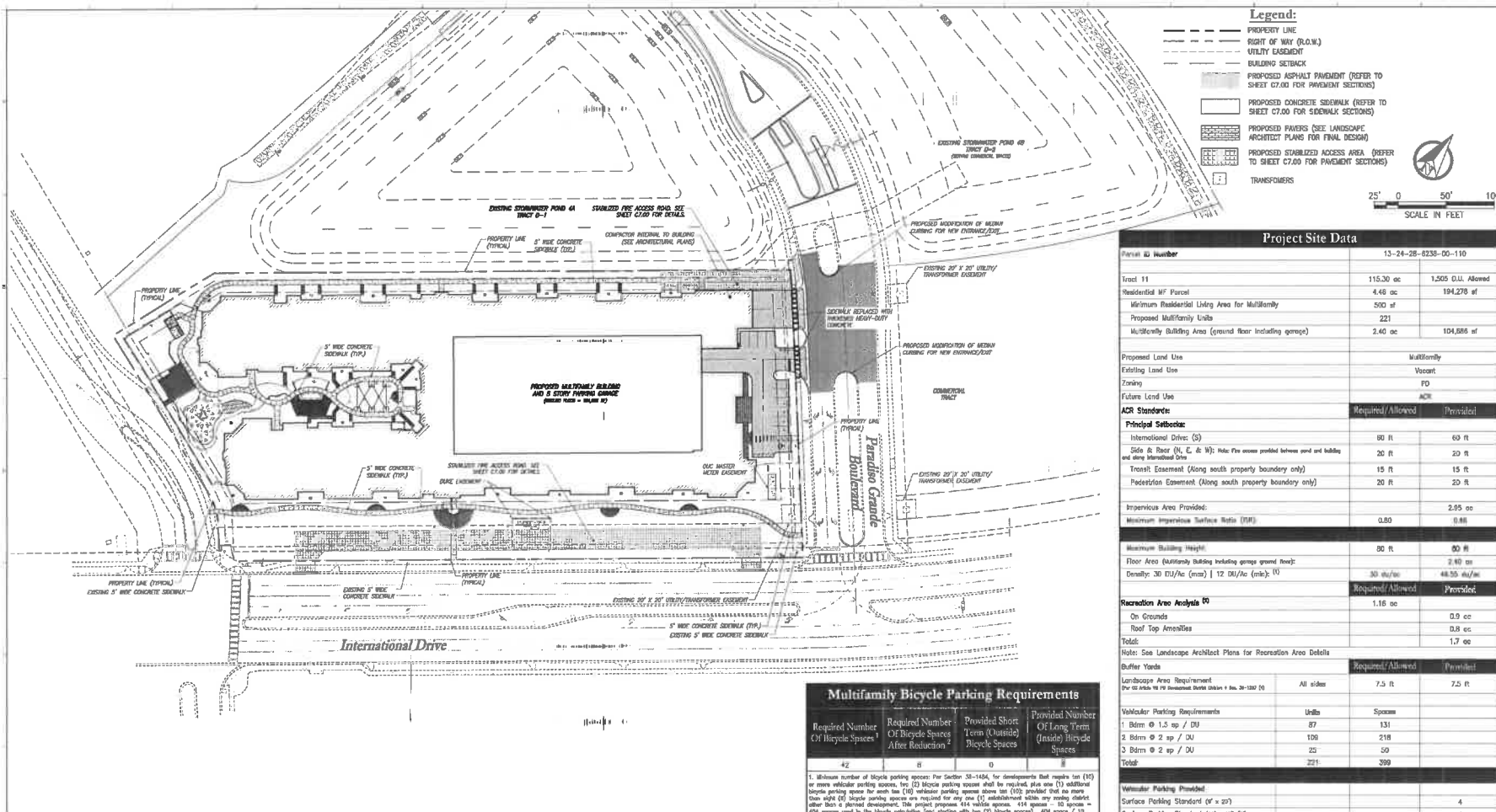


This seal has been electronically signed and is valid to the extent of the seal. It is not valid for use on any other project. For more information, visit www.paulosandben.net or call 407-487-2294. This seal is not valid for use on any other project.

PAULOS & BENNETT

Paulos & Bennett, LLC
2902 S. Livingston St., Orlando, FL 32803
Tel: 407.487.2294 www.paulosandben.net
SINCE 1982

23.02.2023-118 PAC LMO AND SUPPLEMENT - CIVIC PRES/CORPORATION/CD/23-118-RP



Legend:

- PROPERTY LINE
- RIGHT OF WAY (R.O.W.)
- UTILITY EASEMENT
- BUILDING SETBACK
- PROPOSED ASPHALT PAVEMENT (REFER TO SHEET C7.00 FOR PAVEMENT SECTIONS)
- PROPOSED CONCRETE SIDEWALK (REFER TO SHEET C7.00 FOR CONCRETE SECTIONS)
- PROPOSED PAVERS (SEE LANDSCAPE ARCHITECT PLANS FOR FINAL DESIGN)
- PROPOSED STABILIZED ACCESS AREA (REFER TO SHEET C7.00 FOR PAVEMENT SECTIONS)
- TRANSFORMERS

SCALE IN FEET: 0 50 100'

Project Site Data

Parcel ID Number	13-24-28-8238-00-110	
Tract 11	115.30 ac	1,500 D.U. Allowed
Residential M ² Parcel	4.46 ac	194,276 sf
Minimum Residential Living Area for Multifamily	500 sf	
Proposed Multifamily Units	221	
Multifamily Building Area (ground floor including garage)	2.40 ac	104,886 sf
Proposed Land Use	Multifamily	
Existing Land Use	Vacant	
Zoning	PD	
Future Land Use	ACR	
ACR Standards	Required/Allowed	Provided
Principal Sublot:		
International Drive (S)	60 ft	60 ft
Side to Rear (N, E, & W): Note: Fire access provided between parcel and building and along International Drive	20 ft	20 ft
Front Easement (Along south property boundary only)	15 ft	15 ft
Pedestrian Easement (Along south property boundary only)	20 ft	20 ft
Impervious Area Provided:		2.95 ac
Maximum Impervious Surface Ratio (MISR)	0.80	0.86
Maximum Building Height:	80 ft	80 ft
Floor Area (including building including garage ground floor):		2.40 ac
Density: 30 DU/Ac (max) / 12 DU/Ac (min): 10	30 du/ac	48.55 du/ac
Recreation Area Analysis	Required/Allowed	Provided
On Grounds	1.16 ac	0.9 ac
Roof Top Amenities		0.8 ac
Total:		1.7 ac
Notes: See Landscape Architect Plans for Recreation Area Details		
Buffer Yards	Required/Allowed	Provided
Landscape Area Requirement (Per Section 20-108 (b) Ordinance Code Chapter 1, Sec. 20-102 (b))	All sides	7.5 ft
Vehicle Parking Requirements		Spaces
1 Bdrm @ 1.5 sp / DU	87	131
2 Bdrm @ 2 sp / DU	108	218
3 Bdrm @ 2 sp / DU	25	50
Total:	221	399
Vehicle Parking Provided:		
Surface Parking Standard (6' x 25')		4
Surface Parking Standard (10' x 15' 6")		4
Surface Parking Compact (8' x 15')		2
Surface ADA Parking (12' x 20') ¹⁰		1
Structure Parking (6' x 15')		368
Structure Private Parking (6' x 15')		23
Structure Motorcycle Parking (4' x 8')		2
Structure ADA Parking (12' x 14') ¹⁰		10
Total:		414
NOTES:		
1. The density for this project is measured for the maximum of 30 du/ac criteria PD-wide. The overall PD density (resulting from this change) would remain well below 30 du/ac.		
2. Recreation space required is 2.5 ac per 1,000 residents. Assume 2.1 residents/unit. Amenity areas within structure include. (See Landscape Plans for breakdown)		
3. Per Florida Accessibility Code Section 208.2 & Section 502		
4. And Orange County Conservation Area Determination (CAD-20-09-140) was completed with a certified survey of the conservation area boundary approved by the Environmental Protection Division (EPD) on 10/23/2022		
5. Student Generation Rate is 0.285 per unit, 0.285 x 221 = 63 Students		

Multifamily Bicycle Parking Requirements

Required Number Of Bicycle Spaces	Required Number Of Bicycle Spaces After Reduction	Provided Short Term (Quarter) Bicycle Spaces	Provided Number Of Long Term (Inside) Bicycle Spaces
42	8	0	8

1. Minimum number of bicycle parking spaces: Per Section 20-104, for developments that require lot (10) or more vehicle parking spaces, lot (2) bicycle parking spaces and the required area one (1) additional bicycle parking space for each lot (10) vehicle parking spaces above lot (10) provided that no more than eight (8) bicycle parking spaces are required for any one (1) established within any existing district other than a planned development. This project proposes 44 vehicle spaces, 44 spaces = 10 spaces = 44 spaces used for the bicycle calculation (not starting with lot (2) bicycle spaces), 400 spaces / 10 bicycle spaces / vehicle space = 40.4 bicycle spaces + 2 bicycle spaces = 42.4 bicycle spaces. Rounded up = 42 bicycle spaces required.

2. Per Section 20-104 (b), the zoning ordinance may approve reduction in the number of required bicycle parking spaces when bicycle lockers or other long-term bicycle parking structures are proposed at a ratio of six (6) bicycle parking spaces for every one (1) bicycle locker or other long-term bicycle parking structure, provided that such reduction shall not result in any establishment providing less than the minimum eight (8) parking spaces. This project proposes eight (8) long term bicycle parking spaces within the Parking Garage for total reduction in the "Required Number of Bicycle Spaces" of 42 (Eighteen (18) spaces/locker x 2 lockers = 36 Bicycle Spaces). As such, the minimum requirement of 42 spaces has been completely met with the use of bicycle locker spaces. The project proposes a minimum of 0 available parking spaces and 8 available long-term parking spaces, for a total of 8 bicycle parking spaces.

I-DRIVE DESIGN GUIDELINES FOR MULTI-FAMILY REAR AND SIDE SETBACKS

MINIMUM SIDE AND REAR YARD SETBACK (IN FEET)

PROPOSED USE	ADJACENT USE					
	SE	MF	ACR/M ²	COMM	OFF	IND / RUB
ACR/M ²	20	10	10	10	10	20
ACR/M ²	20	10	10	20	20	75
Comm	20	20	20	10	10	10
IND	20	10	20	10	10	10
RUB	20	10	20	10	10	10

1. Where the sidewalk is a public road right-of-way, the front yard setback shall apply.

2. Front setbacks for Parcel 11 are 60 feet for I-Drive, 49 feet for Westwood Blvd and 25 feet for local roads.

TRAFFIC MATRIX:

LAND USE	TRIPS	LAND USE CONVERSION TABLE						
		ONE HOTEL ROOM	ONE VILLA 1.2 ROOMS	ONE SINGLE-FAMILY UNIT 1.2 ROOMS	ONE TOWN HOME UNIT 0.7 ROOMS	ONE MULTI-FAMILY UNIT 0.8 ROOMS	1,000 SF COMMERCIAL	1,000 SF OFFICE
HOTEL	8.17/ROOM	-	-	-	-	-	-	-
TIMESHARE & RESORT VILLA	10.03/VILLA	0.8 VILLA	-	0.9 VILLA	0.8 VILLA	0.7 VILLA	4.3 VILLAS	1.1 VILLAS
SINGLE-FAMILY	9.52/DU	0.8 DU	1.1 DU	-	0.8 DU	0.7 DU	4.5 DU	1.8 DU
TOWNHOMES	5.81/DU	1.4 DU	1.7 DU	1.8 DU	-	1.4 DU	7.3 DU	1.8 DU
MULTI-FAMILY	6.85/DU	1.2 DU	1.8 DU	1.4 DU	0.9 DU	-	6.4 DU	1.7 DU
TOURIST COMMERCIAL OFFICE	42.70/1,000 SF	191 SF	235 SF	223 SF	136 SF	156 SF	-	288 SF
	11.63/1,000 SF	743 SF	909 SF	853 SF	827 SF	693 SF	3,871 SF	-

Key Map:
Coordinates:
Scale: 1" = 50'

1. REVIEWED: COUNTY ENGINEER
2. DATE: 08/23/2023
SUBMISSION/REVISED
3. CHECKED BY: SD
4. APPROVED BY: JF
5. SCALE IN FEET: 1" = 50'

Project Name:
PAC 1 - DRIVE APARTMENTS ORANGWOOD N-2 PD

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
MASTER SITE PLAN & SITE DATA

Sheet No.:

Scale:
1" = 50'

Professional Engineer
STATE OF FLORIDA
No. 18129
DATE: January 6, 2023

The user has been electronically signed and certified by the State of Florida. This document is the full and complete version of the document. Please refer to the document record number for more information. The document record number is 2023-118-RP.

POULOS & BENNETT
Poulos & Bennett, LLC
2002 S. Livingston St., Orlando, FL 32803
Tel: 407.487.2394 www.poulosandbennett.com
Reg. No. 18129

Sign Legend						
Id.	MUT.C.D.		Dimensions		Symbol	Notes
	Number	Width	Height			
1	R1-1	30"	30"			R1-1 STOP SIGN WITH 24" WIDE STOP BAR. BOTTOM OF SIGN A MINIMUM 7' HIGH.
2	-	17"	23"			"FIRE ACCESS ONLY" "STAY BETWEEN SIGNS"
3	-	17"	23"			"NO FIRE ACCESS LANE"

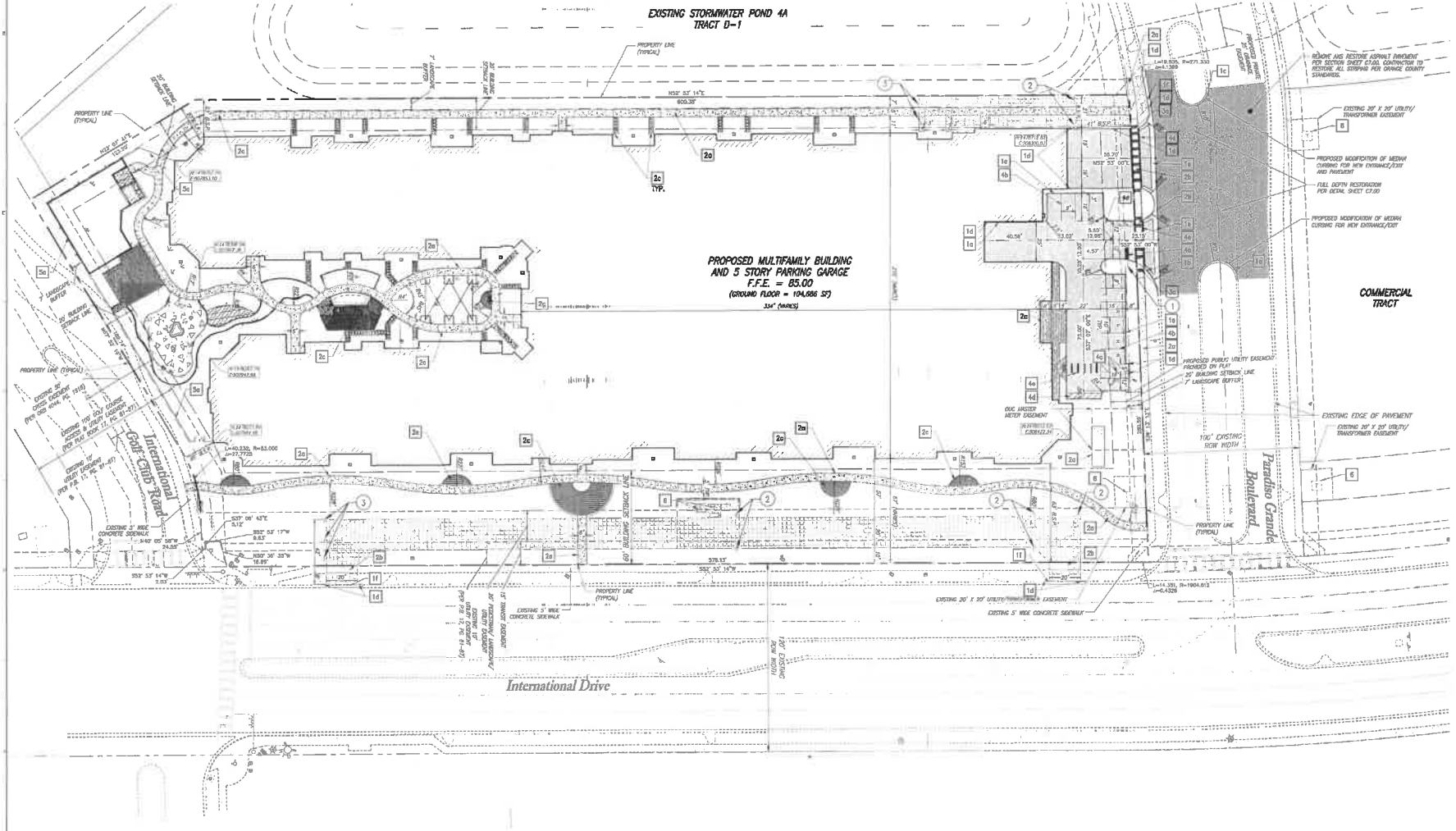
- NOTES:
- ALL DIMENSIONS ARE TO FACE OF CURB, BUILDING FACE (OUTSIDE WALL), EDGE OF PAVEMENT (WHERE NO CURB IS PRESENT), OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
 - FOR ALL STRIPING AND MARKINGS REFER TO F.O.D.T. STANDARD PLANS INDEX 711-001 FOR DETAILS - SPECIAL MARKING AREAS. FOR ALL SIGNAGE REFER TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - AS REFERENCED ON THE GEOMETRY PLAN, B.S.P. = BUILDING SETBACK PROVIDED.
 - SURVEYOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - CONTRACTOR TO REFER TO GENERAL NOTES SHEET 00.10 FOR ADDITIONAL CONDITIONS.

Legend:

- 1c TYPE "D" CURB PER FOOT STANDARD PLANS INDEX 520-001
- 1b TYPE "T" CURB & GUTTER PER FOOT STANDARD PLANS INDEX 520-001
- 1a TYPE "A" MEDIAN CURB PER FOOT STANDARD PLANS INDEX 520-001
- 1d TRANSITION CURB - TOP OF CURB TO TRANSITION DOWN TO BE FLUSH WITH GRADE. (SEE SHEET C7.00 FOR DETAIL)
- 1e CONCRETE VALLEY GUTTER PER FOOT INDEX NO. 520-001
- 1f MOUNTED TYPE "F" CURB (TO BE MOUNTABLE) - SEE SHEET C7.00 FOR DETAIL
- 2a 4" THICK 3000 PSI CONCRETE SIDEWALK (SEE PLAN FOR WIDTH; SEE SHEET C7.00 FOR DETAILS)
- 2b 6" THICK 4000 PSI HEAVY DUTY CONCRETE WITH FIBER REINFORCING (SEE SHEET C7.00 FOR DETAIL)
- 2c PAVEMENT BROCKS (TYPICAL WHERE SHOWN; REFER TO L.A. PLANS FOR FINAL DESIGN)
- 3a F.O.D.T. CR-A ACCESSIBLE RAMP WITH DETECTABLE WARNING MAT PER F.O.D.T. STANDARD PLANS INDEX 522-002
- 3b R1-1 30"x30" STOP SIGN WITH 24" WIDE WHITE STOP BAR (TYP.) (REFER TO FOOT STANDARD PLANS INDEX 711-001 FOR DETAILS)
- 3c 6" WIDE WHITE PARKING STRIPE (TYP.) STANDARD PAINT PER FOOT STANDARD PLANS INDEX 711-001 & STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 710
- 3d ACCESSIBLE PARKING & SIGNAGE PER FOOT STANDARD PLANS INDEX 711-001 FOR DETAILS (SEE SHEET C7.00 FOR DETAIL)
- 3e FIRE LANE STRIPING STANDARD PAINT PER FOOT STANDARD PLANS INDEX 711-001 & STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 710
- 3f CROSSWALK WITH 12" WIDE WHITE PARALLEL STRIPES (SEE PLANS FOR WIDTH) OR PAVERS AT OWNER'S DISCRETION. SEE LANDSCAPE PLANS FOR PAVES SPECIFICATIONS.
- 3g FENCE (REFER TO L.A. PLANS FOR FINAL DESIGN)
- 3h TRANSFORMER (SEE ELECTRICAL PLANS FOR DETAILS)

Legend:

- PROPERTY LINE
- RIGHT OF WAY (R.O.W.)
- UTILITY EASEMENT
- BUILDING SETBACK
- PROPOSED ASPHALT PAVEMENT
- HILL AND 1.5" OVERLAY
- PROPOSED CONCRETE PAVEMENT
- PROPOSED STABILIZED ACCESS AREA
- PROPOSED PAVERS (SEE LANDSCAPE ARCHITECT PLANS FOR FINAL DESIGN)
- BUILDING SETBACK PROVIDED
- PROPOSED TRANSFORMER
- CONTRACT PARKING 9' x 16'
- REGULAR PARKING 10' x 16'



Key Maps:

Contract:

NO.	DATE	DESCRIPTION	BY
1	01/05/2024	SUBMITTED TO ORANGE COUNTY	MM
2	01/05/2024	REVISIONS/REVISED	MM
3	01/05/2024	REVISIONS/REVISED	MM
4	01/05/2024	REVISIONS/REVISED	MM
5	01/05/2024	REVISIONS/REVISED	MM
6	01/05/2024	REVISIONS/REVISED	MM
7	01/05/2024	REVISIONS/REVISED	MM
8	01/05/2024	REVISIONS/REVISED	MM
9	01/05/2024	REVISIONS/REVISED	MM
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46	01/05/2024	REVISIONS/REVISED	MM
47	01/05/2024	REVISIONS/REVISED	MM
48	01/05/2024	REVISIONS/REVISED	MM
49	01/05/2024	REVISIONS/REVISED	MM
50	01/05/2024	REVISIONS/REVISED	MM

Project Name:
PAC 1 - DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
SITE & GEOMETRY PLAN

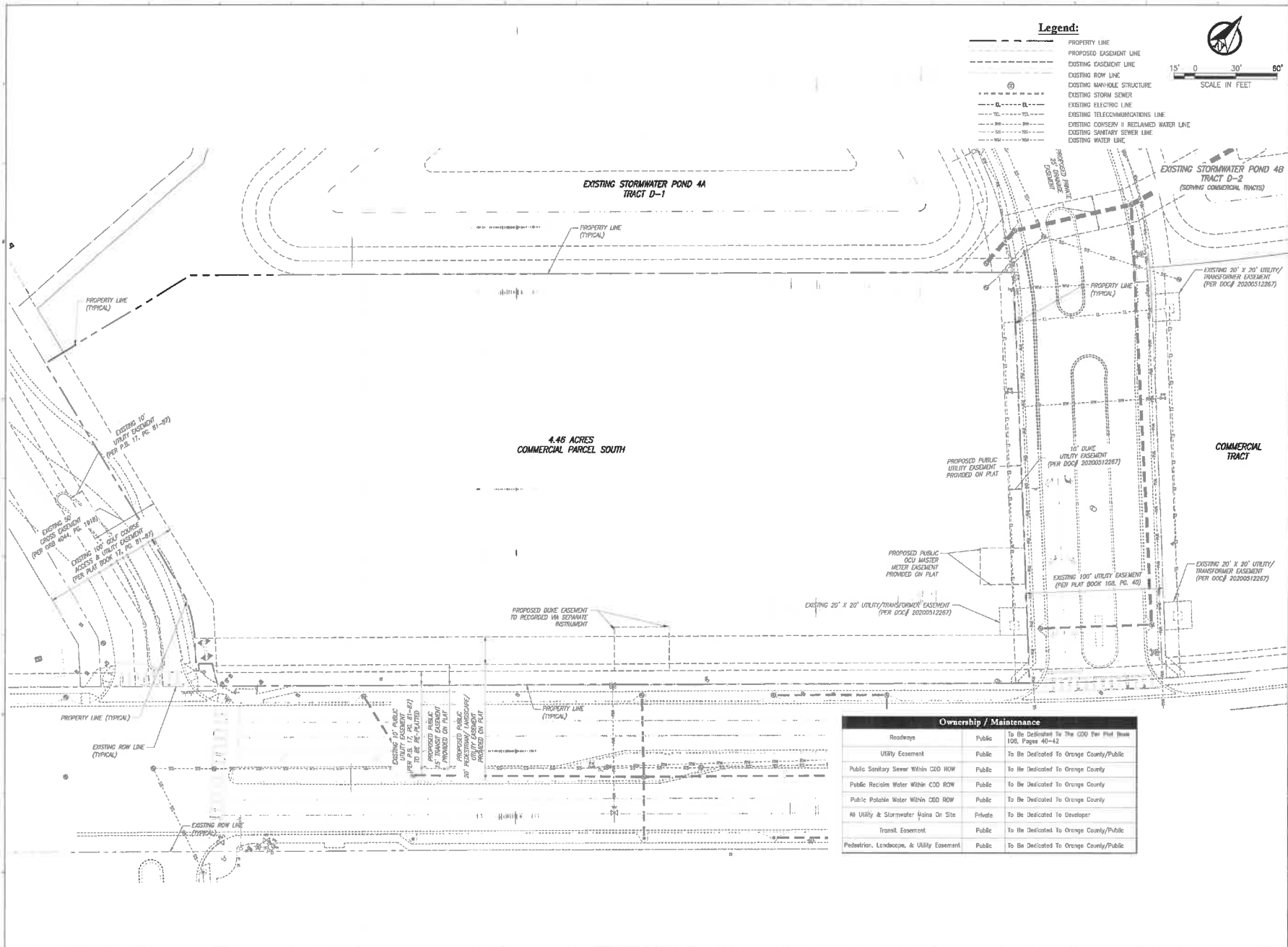
Sheet No. 1:
C2.00



The area has been electronically signed and sealed by the State of Florida. The seal is a digital signature and does not constitute a physical seal. The seal is valid only if it is not tampered with. The seal is valid only if it is not tampered with. The seal is valid only if it is not tampered with.

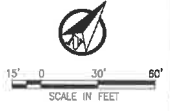


Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel: 407.461.2994 www.poulosandbenett.com
Eng. No. 16-35657



Legend:

- PROPERTY LINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING ROW LINE
- - - EXISTING MANHOLE STRUCTURE
- - - EXISTING STORM SEWER
- - - EXISTING ELECTRIC LINE
- - - EXISTING TELECOMMUNICATIONS LINE
- - - EXISTING CONSERVATION RECLAIMED WATER LINE
- - - EXISTING SANITARY SEWER LINE
- - - EXISTING WATER LINE



Coordinate:

NO.	DATE	DESCRIPTION	COMMENTS/REVISIONS
1	01/20/23	ISSUED TO ORANGE COUNTY	

VERTICAL DATUM	NAVD 83
FINING	21-118
DESIGNED BY:	310
DRAWN BY:	SA/PL
CHECKED BY:	BO
APPROVED BY:	JP
SCALE IN FEET:	1" = 30'

Project Name:
PAC I - DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
EASEMENT PLAN

Sheet No.:
C2.10

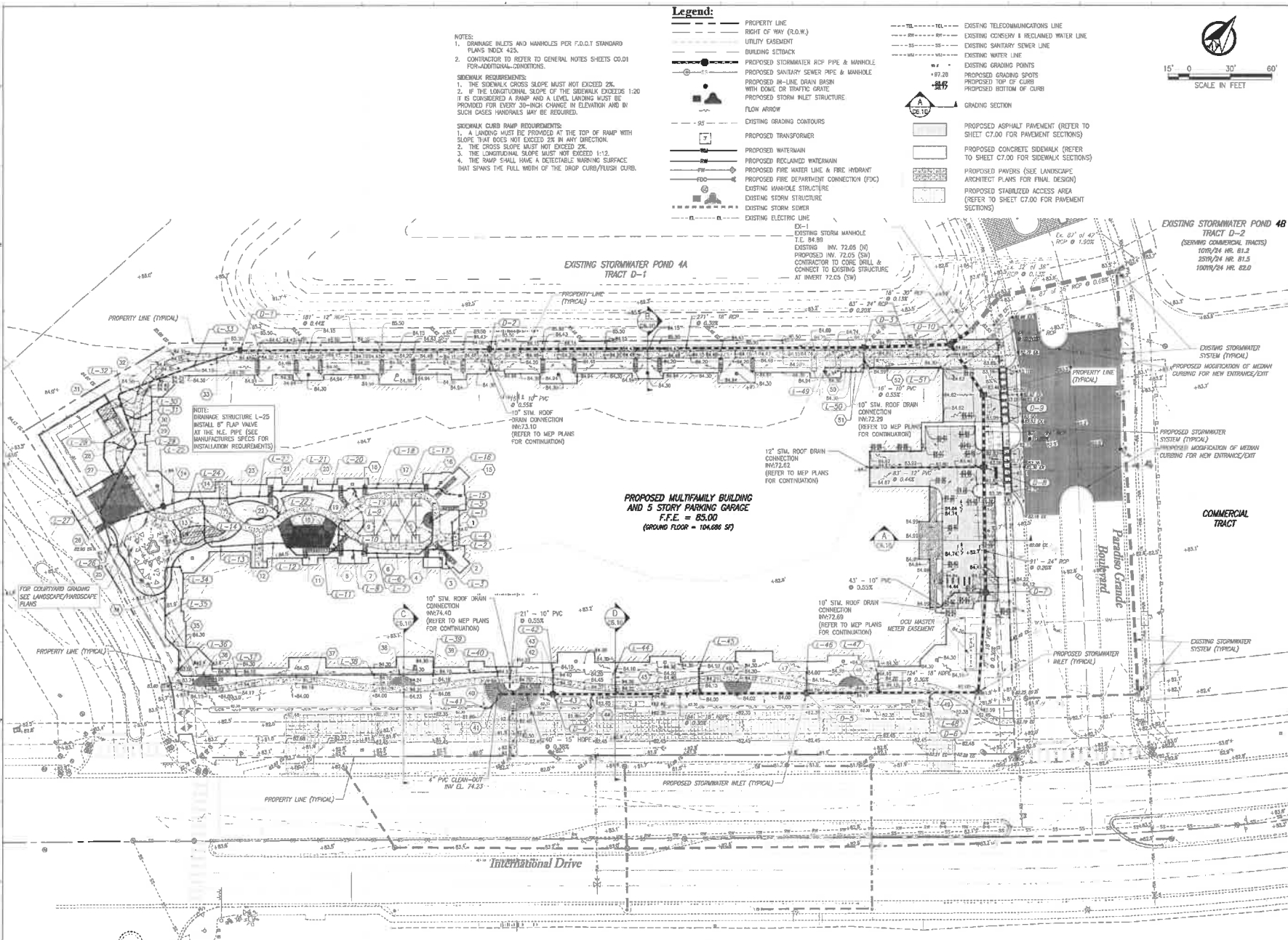


This plan has been automatically signed and sealed for South & East on the date adjacent to the seal only. (31) communication only. Please refer to the document record for all project details and conditions. The State of Florida requires the use of a digital signature.



Poulos & Bennett, LLC
 2602 S. Livingston St., Orlando, FL 32803
 TEL: 407.467.2374 www.poulosandbennett.com
 Eng. Reg. No. 30603

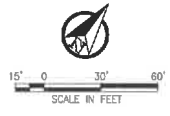
Ownership / Maintenance		
Roadways	Public	To Be Dedicated To The GOO Per Plat Book 100, Page 40-42
Utility Easement	Public	To Be Dedicated To Orange County/Public
Public Sanitary Sewer Within COD ROW	Public	To Be Dedicated To Orange County
Public Reclaim Water Within COD ROW	Public	To Be Dedicated To Orange County
Public Potable Water Within COD ROW	Public	To Be Dedicated To Orange County
All Utility & Stormwater Lines On Site	Private	To Be Dedicated To Developer
Transect Easement	Public	To Be Dedicated To Orange County/Public
Pedestrian, Landscape, & Utility Easement	Public	To Be Dedicated To Orange County/Public



Legend:

- PROPERTY LINE
- RIGHT OF WAY (R.O.W.)
- UTILITY EASEMENT
- BUILDING FOOTPRINT
- PROPOSED STORMWATER ROP PIPE & MANHOLE
- PROPOSED SANITARY SEWER PIPE & MANHOLE
- PROPOSED 14" LINE DRAIN BASIN WITH DOME OR TRAFFIC GRATE
- PROPOSED STORM INLET STRUCTURE
- FLOW ARROW
- EXISTING GRADING CONTOURS
- PROPOSED TRANSFORMER
- PROPOSED WATERMAIN
- PROPOSED RECLAIMED WATERMAIN
- PROPOSED FIRE WATER LINE & FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- EXISTING MANHOLE STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING STORM SEWER
- EXISTING ELECTRIC LINE
- EX-1 EXISTING STORM MANHOLE
- EX-2 EXISTING INV. 72.05 (D)
- EX-3 PROPOSED INV. 72.05 (S)
- EX-4 CONTRACTOR TO CORE DRILL & CONNECT TO EXISTING STRUCTURE AT INVERT 72.05 (S)
- EX-5 EX. 07' x 42' ROP @ 1.80%
- EX-6 EX. 07' x 42' ROP @ 0.15%
- EX-7 EX. 07' x 42' ROP @ 0.15%
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- EX-99 EX. 07' x 42' ROP @ 0.15%
- EX-100 EX. 07' x 42' ROP @ 0.15%

- NOTES:**
- DRAINAGE INLETS AND MANHOLES PER F.O.D.T STANDARD PLANS INDC 405.
 - CONTRACTOR TO REFER TO GENERAL NOTES SHEETS 00.01 FOR ADDITIONAL CONDITIONS.
- SIDEWALK REQUIREMENTS:**
- THE SIDEWALK CROSS SLOPE MUST NOT EXCEED 2%.
 - IF THE LONGITUDINAL SLOPE OF THE SIDEWALK EXCEEDS 1:20 IT IS CONSIDERED A RAMP AND A LEVEL LANDING MUST BE PROVIDED FOR EVERY 30-INCH CHANGE IN ELEVATION AND IN SUCH CASES HANDRAILS MAY BE REQUIRED.
- SIDEWALK CURB RAMP REQUIREMENTS:**
- A LANDING MUST BE PROVIDED AT THE TOP OF RAMP WITH SLOPE THAT DOES NOT EXCEED 2% IN ANY DIRECTION.
 - THE CROSS SLOPE MUST NOT EXCEED 2%.
 - THE LONGITUDINAL SLOPE MUST NOT EXCEED 1:12.
 - THE RAMP SHALL HAVE A DETECTABLE WARNING SURFACE THAT SPANS THE FULL WIDTH OF THE DROP CURB/PUSH CURB.



Key Map

Contractor:

PROJECT NO.	1405/2023	SUBMIT TO ORANGE COUNTY
NO. DATE	03/01/2024	CONTRACT NO./REVISONS
VERTICAL DATUM	NAVD 89	
DESIGNED BY	23-108	
DRAWN BY	BA/TL	
CHECKED BY	BD	
APPROVED BY	JF	
SCALE/FIELD	1" = 30'	

Project Name:
PAC 1 - DRIVE APARTMENTS ORANGEWOOD N-2 FD

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
PAVING, GRADING, & DRAINAGE PLAN

Sheet No.:
C3.00



This has been electronically signed and sealed for Record. A Copy of the original signature and seal is on file with the State of Florida Department of Banking and Finance. The State of Florida Department of Banking and Finance is not responsible for the accuracy of the information provided on this form. The State of Florida Department of Banking and Finance is not responsible for the accuracy of the information provided on this form.

POULOS & BENNETT

Poulos & Bennett, LLC
2002 E. Livingston St., Orlando, FL 32805
Tel: 407.487.0200 www.poulosandbennett.com
Reg. Div. No. 28267

Storm Structure Table					
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Easting
D-1	TYPE 'C' D.B.I.	84.00	78.85 - 10" (SW) 73.81 - 12" (NE)	1478417.6	507894.2
D-2	TYPE 'C' D.B.I.	75.64	73.01 - 10" (SE) 73.01 - 12" (SW) 73.01 - 18" (NE)	1478526.8	508028.5
D-3	TYPE 'C' D.B.I.	75.36	72.20 - 10" (SE) 72.20 - 18" (SW) 72.20 - 24" (NE)	1478693.6	508214.9
D-4	M.H.	84.00	74.06 - 14" (SW) 73.58 - 6" (NW) 74.08 - 18" (NE)	1478354.4	508215.7
D-5	M.H.	84.00	73.53 - 18" (SW) 73.03 - 6" (NW) 73.53 - 18" (NE)	1478465.4	508262.3
D-6	TYPE 'T' D.B.I.	82.00	73.16 - 18" (SW) 73.16 - 18" (NW)	1478540.5	508461.6
D-7	M.H.	84.47	72.44 - 10" (SW) 72.94 - 18" (SE) 72.44 - 24" (NW)	1478601.1	508472.6
D-8	TYPE 'T' D.B.I.	83.00	72.28 - 24" (SE) 72.28 - 12" (SW) 72.28 - 24" (NW)	1478673.2	508366.8
D-9	TYPE 'T' D.B.I.	83.46	72.18 - 24" (SE) 72.16 - 24" (W)	1478715.0	508335.1
D-10	M.H.	84.85	72.07 - 24" (SW) 72.07 - 24" (E) 72.07 - 30" (N)	1478729.9	508294.0

Storm Structure Table					
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Easting
EX-1	EXISTING M.H.	84.69	72.05 - 30" (S)	1478746.8	508288.7
L-1	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.35	81.50 - 6" (SE)	1478409.8	508082.4
L-2	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	81.30 - 6" (NW)	1478384.2	508085.0
L-3	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	81.33 - 6" (NW)	1478363.3	508066.9
L-4	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.30	81.16 - 6" (NE)	1478386.1	508083.4
L-5	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.60	81.33 - 6" (SE)	1478402.9	508070.3
L-6	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	83.87 - 6" (NE) 80.97 - 6" (SW)	1478373.4	508071.4
L-7	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	83.73 - 6" (NE) 80.73 - 6" (SW)	1478359.3	508051.9
L-8	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	83.56 - 6" (NE) 80.56 - 6" (SW)	1478350.6	508037.1
L-9	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.89	80.70 - 6" (SW)	1478365.8	508021.4

Storm Structure Table					
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Easting
L-10	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	81.30	80.34 - 6" (NW) 80.34 - 6" (SE)	1478353.2	508022.0
L-11	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.33 - 6" (NE) 80.33 - 6" (SW)	1478335.2	508021.8
L-12	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.44	79.93 - 6" (NE) 79.93 - 6" (SW)	1478320.2	507987.5
L-13	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.30	79.55 - 6" (NE) 79.55 - 6" (SW)	1478295.5	507958.4
L-14	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	79.25 - 6" (SE) 79.25 - 6" (NW)	1478304.5	507936.8
L-15	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.94 - 6" (SW)	1478425.3	508065.9
L-16	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.02 - 6" (NE) 80.82 - 6" (SW)	1478422.4	508058.2
L-17	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	80.63 - 6" (NE) 80.63 - 6" (SW)	1478411.1	508042.9
L-18	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.39 - 6" (NE) 80.39 - 6" (SW)	1478396.9	508023.5
L-19	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.00	80.29 - 6" (NW)	1478383.3	508015.0

Storm Structure Table					
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Easting
L-20	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	80.05 - 6" (NE) 80.05 - 6" (SW)	1478375.0	507986.6
L-21	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.71	79.69 - 6" (NE) 79.69 - 6" (SW)	1478353.5	507969.1
L-22	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.77	79.79 - 6" (NW)	1478337.3	507978.0
L-23	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.71	79.52 - 6" (NE) 79.52 - 6" (SW)	1478340.9	507958.0
L-24	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	79.00 - 6" (NE) 79.00 - 6" (SW)	1478309.1	507916.8
L-25	TYPE 'C' D.B.I. SOLID GRATE	66.91	78.64 - 8" (NE) 78.64 - 10" (SW) 82.50 - 6" (SE) 82.50 - 6" (NW)	1478293.6	507907.7
L-26	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	85.17	78.66 - 6" (NW)	1478248.8	507893.7
L-27	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	78.21 - 10" (S) 78.21 - 10" (N)	1478286.7	507872.5
L-28	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	86.05	78.28 - 5" (E) 82.30 - 6" (S)	1478300.4	507850.8
L-29	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	77.43 - 10" (S) 77.43 - 10" (W)	1478318.4	507864.3

Continued

Storm Structure Table					
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Easting
L-30	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.85	77.70 - 10" (W) 77.70 - 10" (NW)	1478328.4	507846.0
L-31	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	78.03 - 6" (SW)	1478339.7	507857.6
L-32	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.85	77.53 - 10" (SW) 77.53 - 10" (NE)	1478341.7	507834.2
L-33	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	80.12	77.11 - 10" (SW) 77.11 - 10" (NE)	1478326.9	507864.1
L-34	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.50	78.49 - 6" (SW)	1478285.9	507943.6
L-35	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.50	78.83 - 6" (NW) 78.83 - 6" (SE)	1478231.4	507956.3
L-36	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	83.50	78.19 - 6" (NW) 78.19 - 6" (SE)	1478206.1	507987.4
L-37	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	77.52 - 6" (SW) 77.52 - 6" (NE)	1478227.5	508023.6
L-38	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	75.62 - 6" (SW) 76.02 - 6" (NE)	1478287.8	508103.1
L-39	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	75.38 - 6" (NE) 75.38 - 6" (SW)	1478313.7	508137.4

Storm Structure Table					
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Easting
L-40	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	74.98 - 6" (SW) 74.98 - 6" (SE)	1478343.5	508173.7
L-41	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	81.80	74.38 - 6" (NE)	1478316.7	508182.5
L-42	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	73.76 - 6" (SE)	1478368.6	508204.9
L-43	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	81.80	73.60 - 6" (NW)	1478352.9	508243.6
L-44	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	73.62 - 6" (SE)	1478395.1	508241.5
L-45	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	73.56 - 6" (SE)	1478432.5	508280.3
L-46	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.00	73.18 - 6" (SE)	1478477.3	508353.4
L-47	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.10	73.02 - 6" (SE)	1478507.6	508395.2
L-48	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	81.80	72.67 - 6" (NW)	1478461.2	508439.6
L-49	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	72.56 - 6" (NE)	1478682.1	508231.5

Storm Structure Table					
Structure Number	Structure Type	Top Elev.	Inverts	Northing	Easting
L-50	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	84.20	72.37 - 6" (SW) 72.37 - 6" (NE)	1478673.6	508246.7
L-51	12" DIA. IN-LINE DRAIN BASIN WITH DOME GRATE	75.29	72.83 - 6" (SW)	1478712.5	508298.1

Storm Pipe Table			
Draw Structure	Length	Size & Material	Slope
D-1	18'	12" RCP	0.44%
D-2	271'	18" RCP	0.30%
D-3	63'	24" RCP	0.20%
D-4	184'	18" HDPE	0.30%
D-5	124'	18" HDPE	0.30%
D-6	72'	18" HDPE	0.30%
D-7	91'	24" RCP	0.20%
D-8	52'	24" RCP	0.20%
D-9	44'	24" RCP	0.20%
D-10	18'	30" RCP	0.13%

PVC STORM PIPE LEGEND

- | | | | |
|------------------------------------|-------------------------------------|--------------------------------------|-------------------------------------|
| ① 20' OF 6" PVC STORM PIPE @ 1.00% | ⑩ 19' OF 6" PVC STORM PIPE @ 1.00% | ⑲ 56' OF 10" PVC STORM PIPE @ 0.75% | ②⑧ 15' OF 6" PVC STORM PIPE @ 1.00% |
| ② 11' OF 6" PVC STORM PIPE @ 1.00% | ⑪ 23' OF 6" PVC STORM PIPE @ 1.00% | ⑳ 35' OF 10" PVC STORM PIPE @ 0.75% | ②⑨ 11' OF 6" PVC STORM PIPE @ 1.00% |
| ③ 14' OF 6" PVC STORM PIPE @ 1.50% | ⑫ 33' OF 6" PVC STORM PIPE @ 1.00% | ㉑ 49' OF 6" PVC STORM PIPE @ 1.00% | ③① 19' OF 6" PVC STORM PIPE @ 1.00% |
| ④ 7' OF 6" PVC STORM PIPE @ 1.00% | ⑬ 7' OF 6" PVC STORM PIPE @ 1.00% | ㉒ 43' OF 6" PVC STORM PIPE @ 1.00% | ③② 11' OF 6" PVC STORM PIPE @ 1.00% |
| ⑤ 30' OF 6" PVC STORM PIPE @ 1.00% | ⑭ 20' OF 6" PVC STORM PIPE @ 1.00% | ㉓ 45' OF 6" PVC STORM PIPE @ 1.00% | ③③ 33' OF 6" PVC STORM PIPE @ 1.00% |
| ⑥ 24' OF 6" PVC STORM PIPE @ 1.00% | ⑮ 12' OF 6" PVC STORM PIPE @ 1.00% | ㉔ 100' OF 6" PVC STORM PIPE @ 1.00% | |
| ⑦ 18' OF 6" PVC STORM PIPE @ 1.00% | ⑯ 27' OF 6" PVC STORM PIPE @ 1.00% | ㉕ 43' OF 6" PVC STORM PIPE @ 1.00% | |
| ⑧ 15' OF 6" PVC STORM PIPE @ 1.00% | ⑰ 51' OF 6" PVC STORM PIPE @ 1.00% | ㉖ 47' OF 6" PVC STORM PIPE @ 1.00% | |
| ⑨ 16' OF 6" PVC STORM PIPE @ 1.00% | ⑱ 19' OF 6" PVC STORM PIPE @ 1.83% | ㉗ 18' OF 6" PVC STORM PIPE @ 1.00% | |
| ⑩ 21' OF 6" PVC STORM PIPE @ 1.00% | ⑲ 38' OF 10" PVC STORM PIPE @ 0.75% | ㉘ 17' OF 6" PVC STORM PIPE @ 1.00% | |
| ⑪ 40' OF 6" PVC STORM PIPE @ 1.00% | ⑳ 19' OF 6" PVC STORM PIPE @ 2.11% | ㉙ 40' OF 15" HDPE STORM PIPE @ 0.35% | |
| ⑫ 38' OF 6" PVC STORM PIPE @ 1.00% | ㉑ 50' OF 15" PVC STORM PIPE @ 0.75% | ㉚ 18' OF 6" PVC STORM PIPE @ 1.00% | |
| ⑬ 29' OF 6" PVC STORM PIPE @ 1.00% | ㉒ 16' OF 6" PVC STORM PIPE @ 2.50% | ㉛ 11' OF 6" PVC STORM PIPE @ 1.00% | |
| ⑭ 17' OF 6" PVC STORM PIPE @ 1.00% | ㉓ 18' OF 10" PVC STORM PIPE @ 0.75% | ㉜ 18' OF 6" PVC STORM PIPE @ 1.00% | |
| ⑮ 12' OF 6" PVC STORM PIPE @ 1.00% | ㉔ 17' OF 6" PVC STORM PIPE @ 2.63% | ㉝ 19' OF 6" PVC STORM PIPE @ 1.00% | |
| | ㉕ 22' OF 10" PVC STORM PIPE @ 0.75% | ㉞ 17' OF 6" PVC STORM PIPE @ 1.00% | |

1478293 SUBMITTED/ISSUED/REVISED
NO DATA DISCREPANCIES
SUBMISSIONS/REVISIONS

VERTICAL DATUM NAVD 83
PROJECT NO. 21-188
DESIGNED BY: KO
DRAWN BY: S.H.J.
CHECKED BY: KO
APPROVED BY: J
SCALE IN FEET: 1" = 30'

Project Name:
PAC I - DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
PAVING, GRADING, & DRAINAGE PLAN

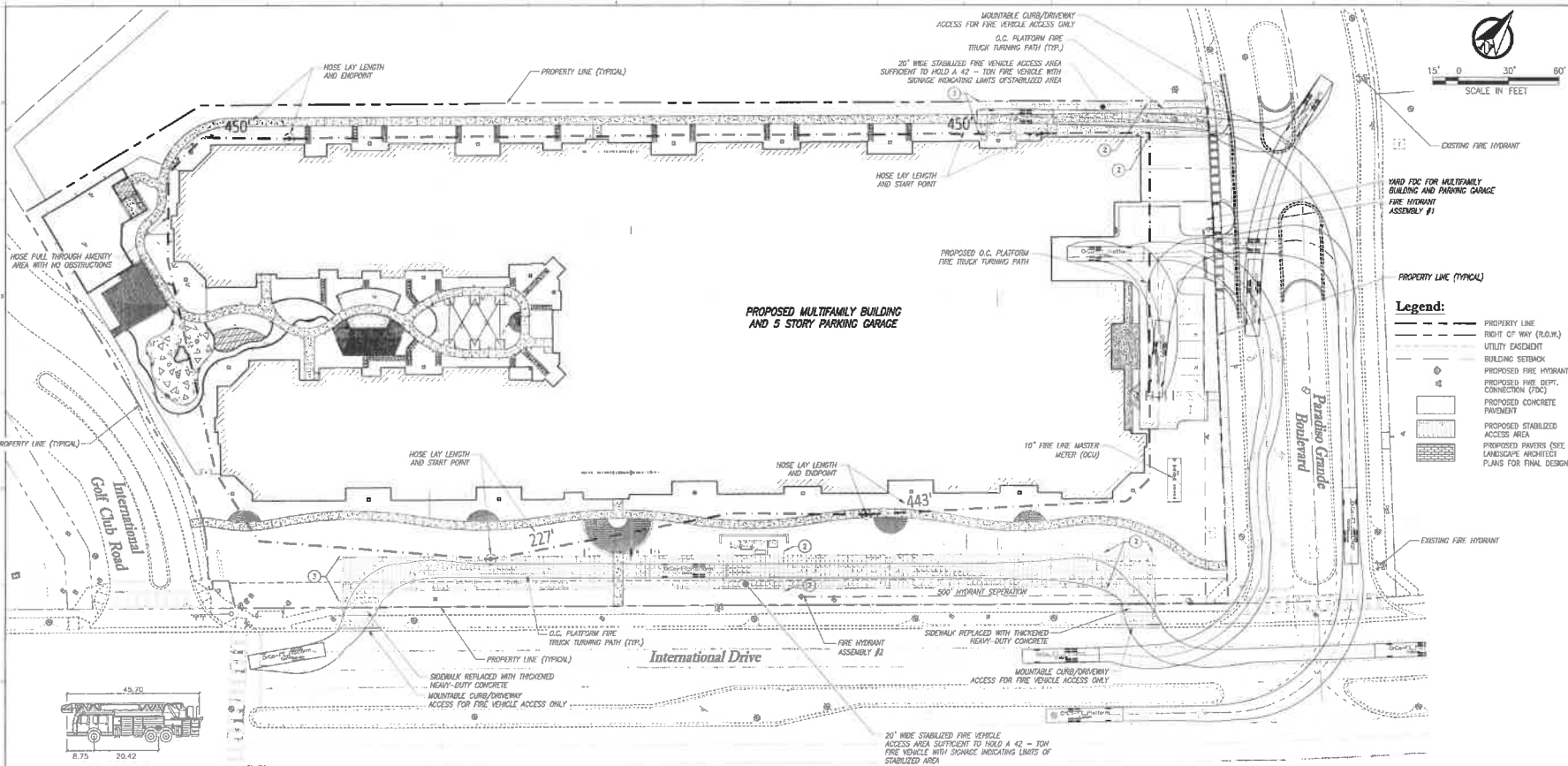
Sheet No.:
C3.01



There is no other information required to be shown on this plan as the drawings are to be used for the construction of the project. The engineer is not responsible for the construction of the project. The engineer is not responsible for the construction of the project.



Paulus & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32810
Tel: 407.481.2394 www.paulusandbenett.com
Since 1978



Key Map

Scale in Feet: 15' 0 30' 80'

Coordinates

Legend:

- PROPERTY LINE
- RIGHT OF WAY (R.O.W.)
- UTILITY EASEMENT
- BUILDING SETBACK
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPT. CONNECTION (FDC)
- PROPOSED CONCRETE PAVEMENT
- PROPOSED STABILIZED ACCESS AREA
- PROPOSED PAVERS (SITE LANSBERG ARCHITECT PLANS FOR FINAL DESIGN)

1. 10/20/20 ALBERTA/CHANGEROAD
 NO. DATE REVISIONS
 SUBMITTER/REVISIONS

VERTICAL DATE: N/A
 DRAWN BY: RD
 CHECKED BY: SA
 APPROVED BY: RD
 SCALE IN FEET: 1" = 30'

Project Name:
PAC I - DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submitted To:
 ORANGE COUNTY, FL

Sheet Title:
FIRE PROTECTION PLAN

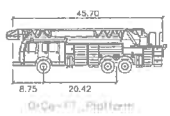
Sheet No.:
C5.00



This seal has been electronically signed and sealed by Oracle. A Code of Ethics agreement on file with the State of Florida. Please report any unauthorized use or alteration of this seal to the Board of Professional Engineers, 100 N. Orange Avenue, 10th Floor, Orlando, FL 32801.



Poulos & Bennett, LLC
 2072 E. Livingston St., Orlando, FL 32803
 Tel: 407.497.2214 www.poulosandbennett.com
 Reg. No. 2867

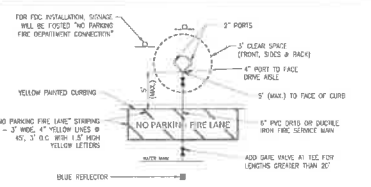


Feet

Width: 8.75
 Track: 8.33
 Lock to Lock Time: 6.0
 Steering Angle: 44.8

Sign Legend

Id.	M.U.T.C.D.		Dimensions		Symbol	Notes
	Number	Width	Height			
②	-	18"	24"		FRONT ONLY STOP BETWEEN SIGNS	"FIRE ACCESS ONLY" "STAY BETWEEN SIGNS"
③	-	18"	24"		END RELEASED LINE	"END FIRE ACCESS LANE"



FIRE HYDRANT/FDC ASSEMBLY SCHEMATIC

Needed Fire Flow Calculations (NFFA)

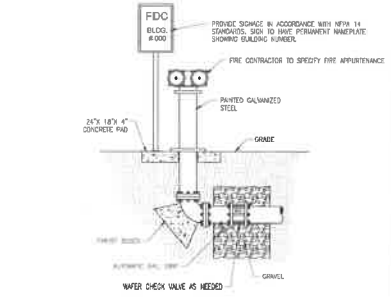
Building	Connection Type (NFPA 221)	Floor	Area per Floor (sf)	Floor Area Used in Calculations (sf)	Required Fire Flow (gpm)	Sprinkler System Credit (%)	Minimum Fire Flow (gpm)	Minimum Fire Flow & Max Peak Daily Flow (gpm)	Orange Co. Minimum Fire Flow (gpm)	Minimum Fire Flow Required	Fire Hydrant(s) Provided
MF/GARAGE	NFPA - 8 (FT)	5	101,785	300,000	5000	75%	1,300	1,844	8996	8996	1

- Notes:**
1. Floor Area used based on the three (3) largest successive floors per NFPA 1, 16.4.1.1.
 2. Required Fire Flow based on FFPC 6th Ed., NFPA 1 and 101, 710, 2018 Ed.
 3. Required Fire Flow reduced by 75% for Sprinkler System per NFPA 13.
 4. Required Fire Hydrant(s) per NFPA 1, 710 2018 Ed., Florida Fire Prevention Code 6th Ed.
 5. Maximum Peak Daily Flow (PDF) based on Average Daily Flow (ADF) x a Peak Factor of 2 (Orange County).
 6. Required Minimum Fire Flow for Orange County is 2,000 gpm per O.C. code, Ch. 34 - Subdivision Regulations, Art. VI, Sec. 34-206 (b)(3).

- FIRE PROTECTION SYSTEM NOTES:**
1. Prior to construction plan approval, hydraulic calculations will be submitted showing that the proposed utilities provide adequate flow and meet minimum pressure requirements per O.C.D.
 2. Fire hydrants and Fire Department Connections shall have a clearance of 5' (max) to face of curb and 3' diameter clearance around all sides of fire hydrant.
 3. Fire hydrants and Fire Department Connections (FDC) shall maintain 40' separation from the buildings they serve. Fire hydrant and FDC shall not have more than 100' of separation unless reduced by ASHRAE.
 4. Proposed buildings, unless otherwise listed, will have automatic fire sprinkler systems.
 5. Gates and other approved devices designed to limit access shall be provided with approved Class-2-Enter Rapid Entry System with a key switch manual override and Kwardoc (Chapter 18 NFPA 1/FFPC).

NOTES:

1. PRIOR TO FIRE LINE INSTALLATION, THE FLORIDA LICENSED CONTRACTOR SHALL SUBMIT LAYOUT DESIGN DRAWINGS TO THE OFFICE OF THE FIRE MARSHAL, IF REQUIRED BY FLORIDA STATUTE 553.79. DRAWINGS MUST BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER. THE DRAWINGS MUST SHOW ALL UNDERGROUND FIRE LINES AND COMPONENTS STARTING FROM THE POINT OF SERVICE AS DEFINED UNDER FLORIDA STATUTE 633.102. THE DESIGN SHALL BE IN ACCORDANCE TO THE CURRENT FLORIDA FIRE PREVENTION CODE AND ALL ADOPTED NFPA CODES AND STANDARDS.

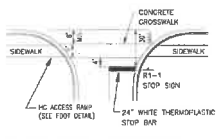


FIRE DEPARTMENT CONNECTION DETAIL

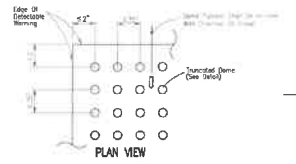


- NOTES:**
- TOP PORTION OF FTP-21-06 SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 - BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT, (7' FROM PAVEMENT TO BOTTOM OF SIGN).

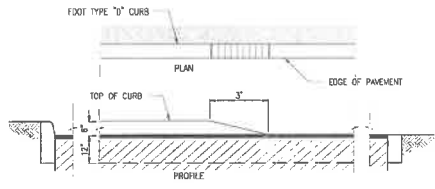
HANDICAP SIGN DETAIL



CROSSWALK & HANDICAP RAMP DETAIL



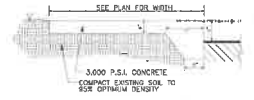
CURB RAMP DETECTABLE WARNING SURFACE DETAIL



TYPE "D" TO GRADE TRANSITION DETAIL



HEAVY DUTY SIDEWALK DETAIL



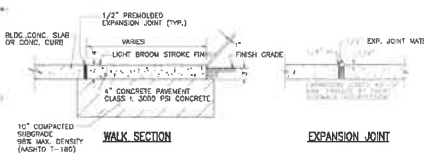
MONOLITHIC SIDEWALK DETAIL



STOP SIGN DETAIL

- "NO PARKING FIRE LANE BY ORDER OF DEPARTMENT" SIGN AT MAX. 25' O.C. SIGN TO BE 18"x24" w/RED LETTERS ON WHITE BACKGROUND.
- SIGN TO BE POSTED 7' (MIN.) / 8' (MAX.) ABOVE FINISHED GRADE.
- FIRE LANE STRIPING PER NEMA 1 AND AASHTO 5009

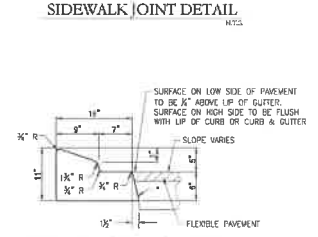
FIRE LANE SIGN DETAIL



WALK SECTION EXPANSION JOINT



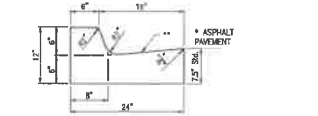
CONSTRUCTION JOINT DUMMY GROOVE



SIDEWALK JOINT DETAIL

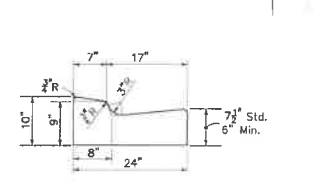
- APPLIES TO BOTH HIGH AND LOW SIDES OF PAVEMENT. APPLIES TO SHOULDER GUTTER ONLY WHERE ADJOINING TRAFFIC LANES.

TYPE 'A' CURB DETAIL

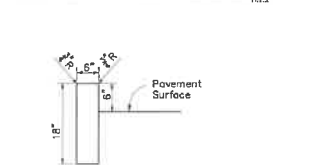


- SEE PAVEMENT DETAILS ON THIS SHEET.
- WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

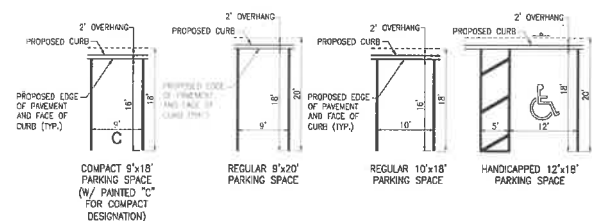
TYPE 'F' CURB DETAIL



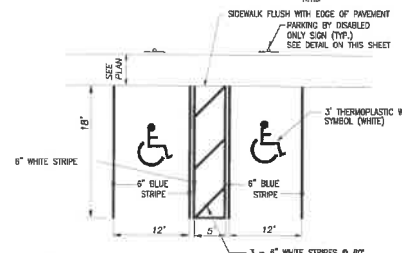
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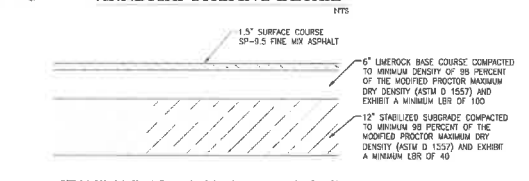
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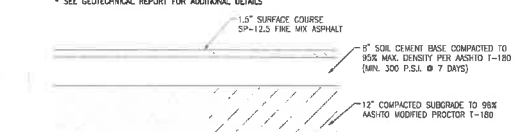
PARKING DETAILS



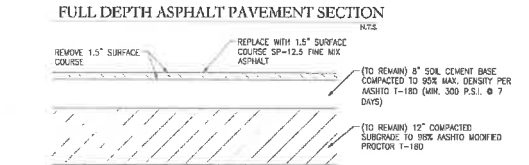
HANDICAP STRIPING DETAIL



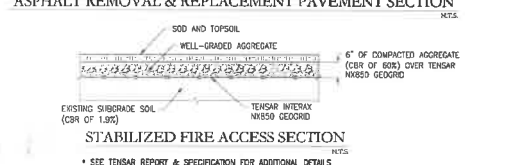
STANDARD ASPHALT PAVEMENT SECTION



FULL DEPTH ASPHALT PAVEMENT SECTION



ASPHALT REMOVAL & REPLACEMENT PAVEMENT SECTION



STABILIZED FIRE ACCESS SECTION

Continued

1. REVISED	PERMIT TO ORANGE COUNTY
NO DATA	DESCRIPTIONS
	SUBMISSIONS/REVISIONS
VERTICAL DATUM	NAVD 88
FILE NO.	21-103
DESIGNED BY	BO
DRAWN BY	JA/LJ
CHECKED BY	BO
APPROVED BY	J
SCALE IN FEET	N.T.S.

Project Name:
PAC I - DRIVE APARTMENTS ORANGEWOOD N-2 PD

Submitted To:
ORANGE COUNTY, FL

Sheet Title:
GENERAL CONSTRUCTION DETAILS

Sheet No.:
C7.00



The client has been determinedly signed and sealed by J. Paul Poulos, P.E. One of the other signatories to this contract is the authority (SEA) authorization code. The client agrees that the information on this contract is true and correct and that the SEA authorization code is not to be used for any other project.



Poulos & Bennert, LLC
 2002 E. Livingston St., Orlando, FL 32803
 Tel: 407.487.2244 www.poulosandbennert.com
 Eng. Dist. No. 20047

SECTION VII

SECTION A

Customer Call Log - Valencia Water Control District

Date	Name	Subdivision	Address	Issue	Pond/Canal Name	Resolution	Date Resolved
6/12/23	David Wolkosz	Whisperwood (Orangewood HOA)	N/A	Pond owned by the HOA needs to be maintained, the structure is blocked and water is staged much higher than it should be.	C-12 Canal Tract C	Mr. Flint reached out to Mr. Wolkosz who is a representative of the Orangewood HOA. There is no management company, they are self maintained. Mr. Wolkosz advised they would address the issues with the pond and report back when it is fixed.	TBD
7/11/23	John Dunwoody	Waterview Reserve	N/A	After 7/11/23 meeting, staff reviewed Waterview subdivision and confirmed that all District signage and poles were gone from the locations. Mr. Flint reached out to Mr. Dunwoody on the HOA to ask if they had any knowledge of who may have removed them.	N/A	Mr. Dunwoody replied that neither he, nor rest of members of the BOD had any knowledge of how or who removed the signs and poles. Mr. Flint replied that the District would be re-installing them as soon as possible.	7/19/23
7/17/23	Michelle Moradi (HOA)	Parkview Pointe HOA	5803-5809 Plum Pudding Ct.	Resident brought picture to clubhouse showing a gap in mowing between District and homeowner property behind several houses. Asked if District would mow it.	Parkview Pointe Pond	Mr. Brown reviewed the area again and mowed the strip to match.	7/19/23
7/20/23	Sarah Reardon	Somerset	5410 E. Sacramento Court	Valencia WCD sent letter to resident on 7/17/23 due to unauthorized landscape and hardscape improvements the homeowner had installed within the District's access easement that needed to be removed. She called to find out where the 20' easement started as she thought her property went to the waters edge.	Somerset Pond 2	Mr. Flint advised that the 20' easement started from the rear of her property line towards the house that needed to remain clear. She requested someone come out to show her in person. Mr. Flint met resident at the property on 7/31/23.	7/31/23
7/24/23	Maria Cardenas (HOA)	Windsor Walk HOA	N/A	Sent screenshot of gator in the water that a resident/person posted on social media. Said it was allegedly in one of their ponds at the community entrance. Asked if Valencia would report to FWC.	Windsor Walk Ponds	Stacie V. reached out to FWC to attempt to permit a tracker but could not due to not knowing the exact location nor size of gator. Reported back to Maria that more information was needed from the resident or the resident needed to call FWC and provide Valencia with reference number to authorize the trapper.	7/25/23
7/25/23	Ursula Annunziata	Deer Creek	5414 Deer Creek Drive	Advised pond behind home and others in the neighborhood were in need of treatment.	Deer Creek Pond 4	Stacie V. reached out to aquatic vendor and they advised tech would be out by end of the week. Resident called back on 7/27/23 to confirm technician was on site and treatment was done.	7/27/23
8/2/23	Jamie Green	Deer Creek	5244 Deer Creek Drive	Wanted to know who maintained pond behind home as it was overgrown with vegetation.	Deer Creek Village HOA Pond	Stacie V. advised resident that the pond was owned by the Deer Creek Village HOA and not tied to the District's stormwater management system. Instructed her to call the association manager or clubhouse manager to inquire on treatment. Also sent message to HOA contact via e-mail.	8/3/23

Item Pending Resolution/Follow Up from Previous Meeting